





MECKLENBURG COUNTY
CODE ENFORCEMENT

Residential Plan Review Disclaimer:
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MECKLENBURG COUNTY

www.meckpermit.com

TOWNHOUSE RESIDENTIAL PROJECTS
2018 BUILDING CODE SUMMARY
(Except for common areas)

Name of Project: Habitat Townhomes at CITISIDE
Address: 925, 929, 933, 937 Plaza Walk Drive - Charlotte, NC 28215
Proposed Use: Residential
Owner: Habitat for Humanity of Charlotte, Inc. Phone #: 704-376-2054
Contact Person: Carrie Masto Phone #: 980-253-1352
Owned By: ☐ City/County ☒ Private ☐ State
Code Enforcement Jurisdiction: ☒ Charlotte/ETJ ☐ Cornelius/ETJ ☐ Davidson/ETJ
☐ Huntersville/ETJ ☐ Matthews/ETJ ☐ Mecklenburg/ETJ
☐ Mint/ETJ ☐ Pineville/ETJ

LEAD DESIGN PROFESSIONAL: Habitat for Humanity of Charlotte, Inc.

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #
Architectural				()
Civil				()
Electrical				()
Fire Alarm				()
Plumbing				()
Mechanical				()
Sprinkler-Standpipe				()
Structural	<u>Gavel & Dorn Engineering, PLLC</u>	<u>Kirk T. Gavel</u>		<u>(704) 919-1900</u>
Retaining Walls >5' High				()
Other				()

YEAR EDITION OF CODE: 2018 NC Residential Code

☒ New Construction ☐ Renovation (Existing Bldg) ☐ Upfit ☐ Alteration

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION
Party/Fire Wall Separation	S.04	U336	N/A
4-hr. Division Wall	N/A	N/A	N/A

GROSS BUILDING AREA

UNIT DESIGN NAME	ADDRESS	AREA HEATED (SF)	AREA UNHEATED (SF)	FOUNDATION FOOTPRINT (SF)	GARAGE?	BLDG. HEIGHT IN STORIES	TOTAL CONSTRUCTION COST OF UNIT
VICTORIA LEFT	925 Plaza Walk Drive	1131 SF	45 SF	609.45 SF	NO	2	\$69,900
SUTTON LEFT	929 Plaza Walk Drive	1147 SF	45 SF	626.6 SF	NO	2	\$71,750
ROBINSON RIGHT	933 Plaza Walk Drive	1131 SF	45 SF	609.45 SF	NO	2	\$69,900
VICTORIA RIGHT	937 Plaza Walk Drive	1131 SF	45 SF	609.45 SF	NO	2	\$69,900

Habitat for Humanity of Charlotte, Inc. Townhomes at CITISIDE

929, 929, 933, 929 Plaza Walk Drive
Charlotte, NC 28215

BUILDING DATA:

Construction Type: ☐ I-A ☐ I-B ☐ II-A ☐ II-B ☐ III-A ☐ III-B
☐ IV ☐ V-A ☒ V-B
Mixed construction: ☒ No ☐ Yes Types _____
Sprinklers: ☒ No ☐ Yes ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D
Standpipes: ☒ No ☐ Yes Class ☐ I ☐ II ☐ III ☐ Wet ☐ Dry
Fire District: ☒ No ☐ Yes
Building Height: 25 Feet 2 Number of Stories

STRUCTURAL DESIGN

DESIGN LOADS:

Importance Factors: Wind (Iw) 1.0
Snow (Is) 1.0
Seismic (Ie) 1.0
Live Loads: Roof 20 psf
Mezzanine N/A psf
Floor 40 psf
Snow Load: 14 psf
Wind Load: Basic Wind Speed 115 mph (ASCE-7-10)
Exposure Category B
Wind Base Shears (for MWFRS) Vx= 28.1 kips Vy= 12.7 kips

SEISMIC DESIGN CATEGORY A

Compliance with Section 1616.4 only? ☐ Yes ☒ No

SEISMIC DESIGN CATEGORY B, C, & D

Provide the following Seismic Design Parameters:

Seismic Use Group I
Spectral Response Acceleration Sms 23 %g Smi 10 %g
Site Classification B
Basic structural system (check one)
☒ Bearing Wall ☐ Dual w/ Special Moment Frame
☒ Building Frame ☐ Dual w/ Intermediate R/C or Special Steel
☐ Moment Frame ☐ Inverted Pendulum
Seismic Base Shear Vx= 9.5 kips Vy= 9.5 kips
Analysis Procedure ☒ Simplified ☐ Equivalent Lateral Force ☐ Modal
Architectural, Mechanical, Components anchored? _____

LATERAL DESIGN CONTROL: Earthquake _____ Wind ☒

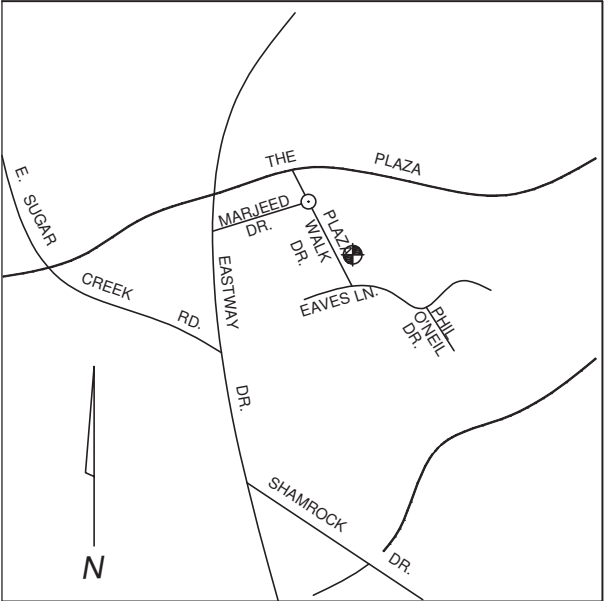
SOIL BEARING CAPACITIES:

Field Test (provide copy of test report) _____ psf
Presumptive Bearing capacity 2000 psf
Pile size, type, and capacity _____

Project #: 402787 Addr: 925 Plaza Walk Dr, Charlotte
Approved as Noted

Sheet 1:

-U336 two-hour fire-rated area-separation wall utilized between units and at roof offsets with frame wall on each side of roof offsets. FRT roof sheathing used 4 ft. each way off demising wall in lieu of a parapet.
-Electrical, mechanical, fuel gas and plumbing are not part of review. -R310 Egress requirements met through recorded plat
-Field inspector verify #1 SP header lumber -Field inspector verify the opening of attic access 20" x 30" minimum net clear opening per R807.1 (TYP.) -Field inspector verify access hatches and door insulation per N1102.2.4 (TYP.) -Field inspector verify riser height, tread depth, nosing and headroom height details per R311 -Field inspector verify under-stair protection per R302.7
-Field inspector verify concrete and masonry foundation slab shall extend above the finished grade adjacent to the foundation at all points a minimum 6" per R404.1.6
-Field inspector verify Handrail Height shall be 34"-38" -Field inspector verify saw cut for roof sheathing on U336



VICINITY MAP

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APPROVED AS NOTED
20-Nov-2019

UNDER A LIMITED REVIEW FOR
COMPLIANCE WITH THE 2018
NC RESIDENTIAL CODE. THIS
APPROVAL SHALL NOT BE
CONSTRUED TO PERMIT ANY
VIOLATIONS OF LOCAL, STATE,
OR FEDERAL LAWS.

PLANS REVIEWED BY:

Fiona Yang

SANITARY SEWER NOTES:

1. Contractor to locate lateral tie-ins.
2. Maintain minimum 10' horizontal separation between water line and other utility lines.
3. Place cleanouts on sanitary lines per plumbing code requirements.
4. Contractor to provide as-built record drawings to owner.
5. All sanitary sewer connections per City of Charlotte standards.
6. Contractor responsible for obtaining encroachment agreement and required to construct utility lines.

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FIRE HYDRANT LOCATED AT
INTERSECTION OF PLAZA
WALK DRIVE AND CITISIDE
DRIVE

EXISTING CITY WATER
AND SEWER

WATER LINE

SEWER LINE

PLAZA WALK DRIVE
50' PUBLIC R/W

CONC.
PATIO
(TYP)

PROPOSED
2 STORY
FRAME
QUADRAPLEX

$\frac{3}{4}$ " WATER LINE TO
BUILDING (TYP)

NEW $\frac{3}{4}$ " WATER TAP
AND METER BY CMUD
(TYP)

20' SETBACK



3815 LATROBE DRIVE
CHARLOTTE, NC 28211

TELEPHONE: 704-376-2054
FAX: 704-342-1797

DWN. BY: CARRIE MASTO
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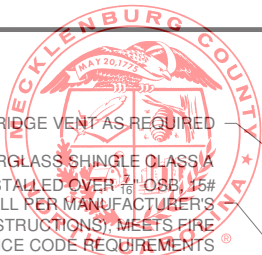
ENGINEER:
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HABITAT FOR HUMANITY OF CHARLOTTE
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SHEET #:

A.01



25 YR. FIBERGLASS SHINGLE CLASS A CERTAINTEED INSTALLED OVER 7/16" OSB, 15# FELT (INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS), MEETS FIRE RESISTANCE CODE REQUIREMENTS

MECKLENBURG COUNTY CODE ENFORCEMENT

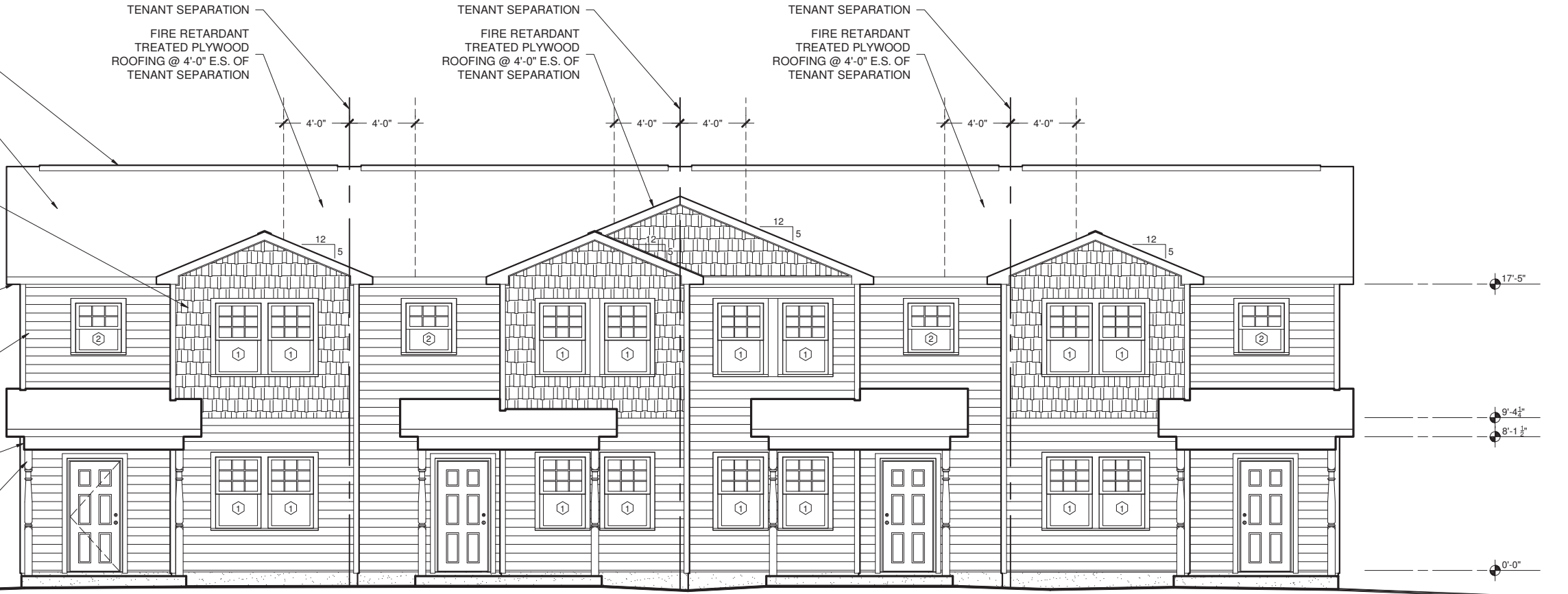
VINYL SHAKES
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VINYL PERFORATED SOFFIT @ EAVES

VINYL LAP SIDING W/ TRIM (TYP) INSTALLED OVER WALL SHEATHING (INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS)

PORCH BEAM, WRAPPED AND PAINTED

6X6 EXTERIOR TURN POST, WITH POST BASE, PAINTED



*PROVIDE HANDRAILS/GUARDRAILS PER NCRC 2018 SECTION(S) R311 & R312, MUST MEET CODE

1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

25 YR. FIBERGLASS SHINGLE CLASS A CERTAINTEED INSTALLED OVER 7/16" OSB, 15# FELT (INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS), MEETS FIRE RESISTANCE CODE REQUIREMENTS

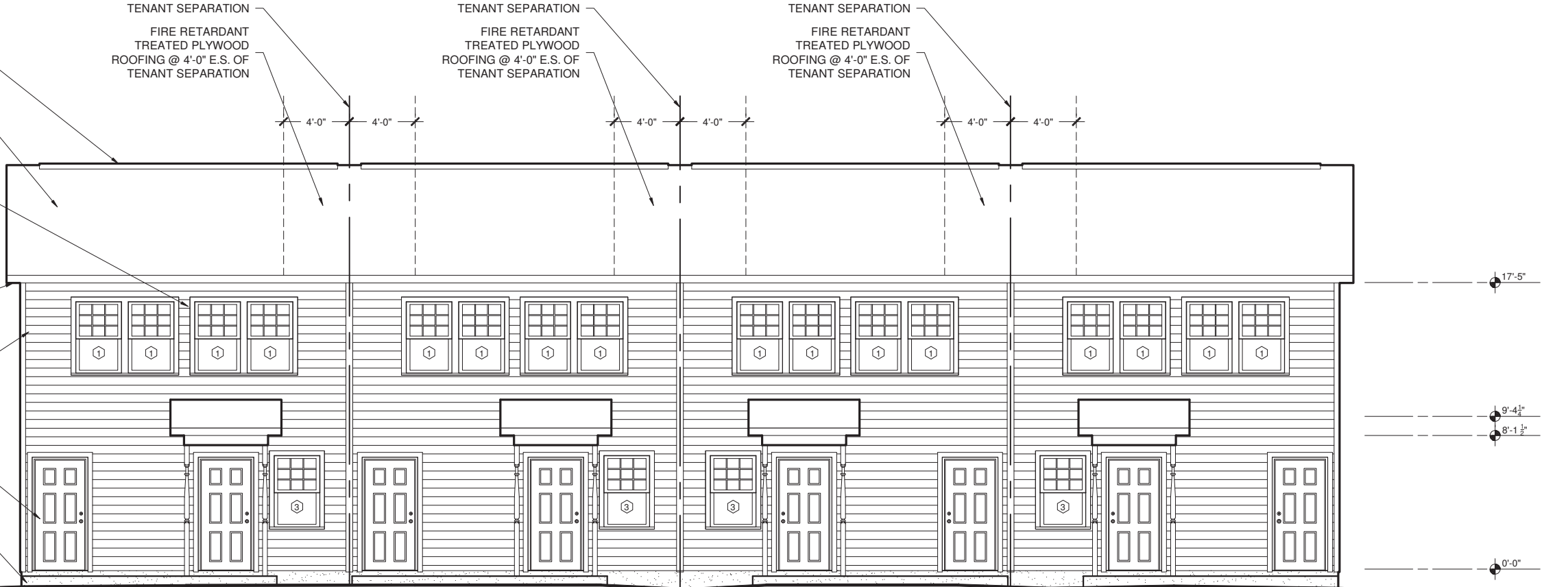
VINYL SHAKES INSTALLED OVER 7/16" OSB, AND HOUSE WRAP

VINYL PERFORATED SOFFIT @ EAVES

VINYL LAP SIDING W/ TRIM (TYP) INSTALLED OVER WALL SHEATHING (INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS)

EXTERIOR OUT SWING DOOR TO STORAGE

POURED CONCRETE PATIO



2 REAR ELEVATION
SCALE: 1/8" = 1'-0"



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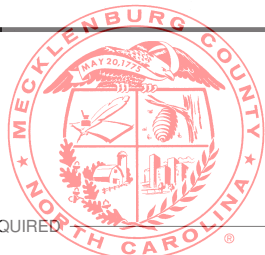
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A.02



RIDGE VENTS AS REQUIRED

VINYL SHAKES INSTALLED OVER $\frac{7}{16}$ " OSB, HOUSE

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17'-5"

9'-4 $\frac{1}{2}$ "
8'-1 $\frac{1}{2}$ "

4X4 EXTERIOR
TURN POST, WITH
POST BASE,
PAINTED

0'-0"

25 YR. FIBERGLASS SHINGLE CLASS A
CERTAINTED® INSTALLED OVER $\frac{7}{16}$ " OSB, 15#
FELT (INSTALL PER MANUFACTURER'S
WRITTEN INSTRUCTIONS), MEETS FIRE
RESISTANCE CODE REQUIREMENTS

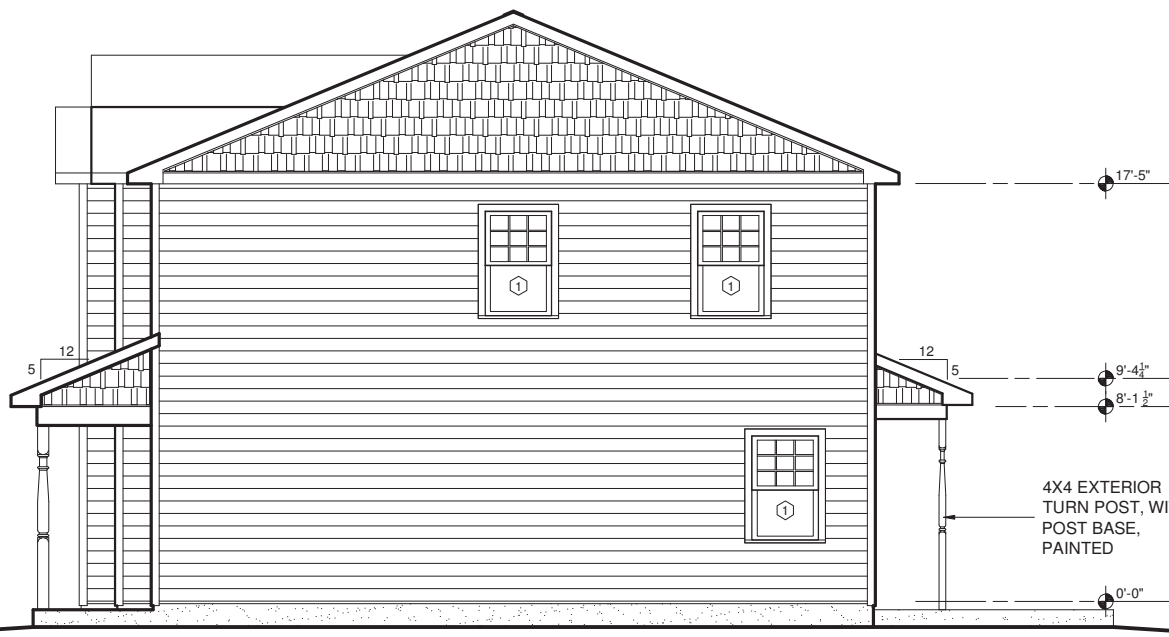
VINYL PERFORATED SOFFIT @
EAVES

VINYL LAP SIDING W/ TRIM (TYP)
INSTALLED OVER WALL
SHEATHING (INSTALL PER
MANUFACTURER'S WRITTEN
INSTRUCTIONS)

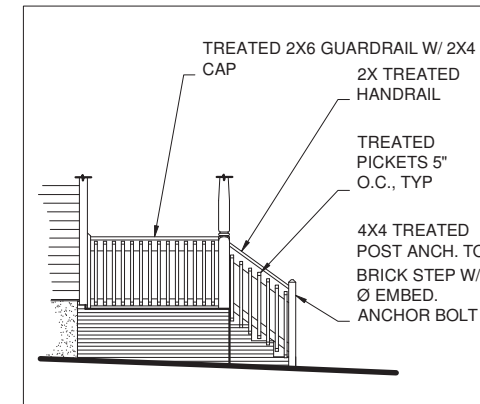
PORCH BEAM, WRAPPED AND
PAINTED

6X6 EXTERIOR TURN POST,
WITH POST BASE, PAINTED

① SIDE ELEVATION
SCALE: $\frac{1}{8}$ "=1'-0"

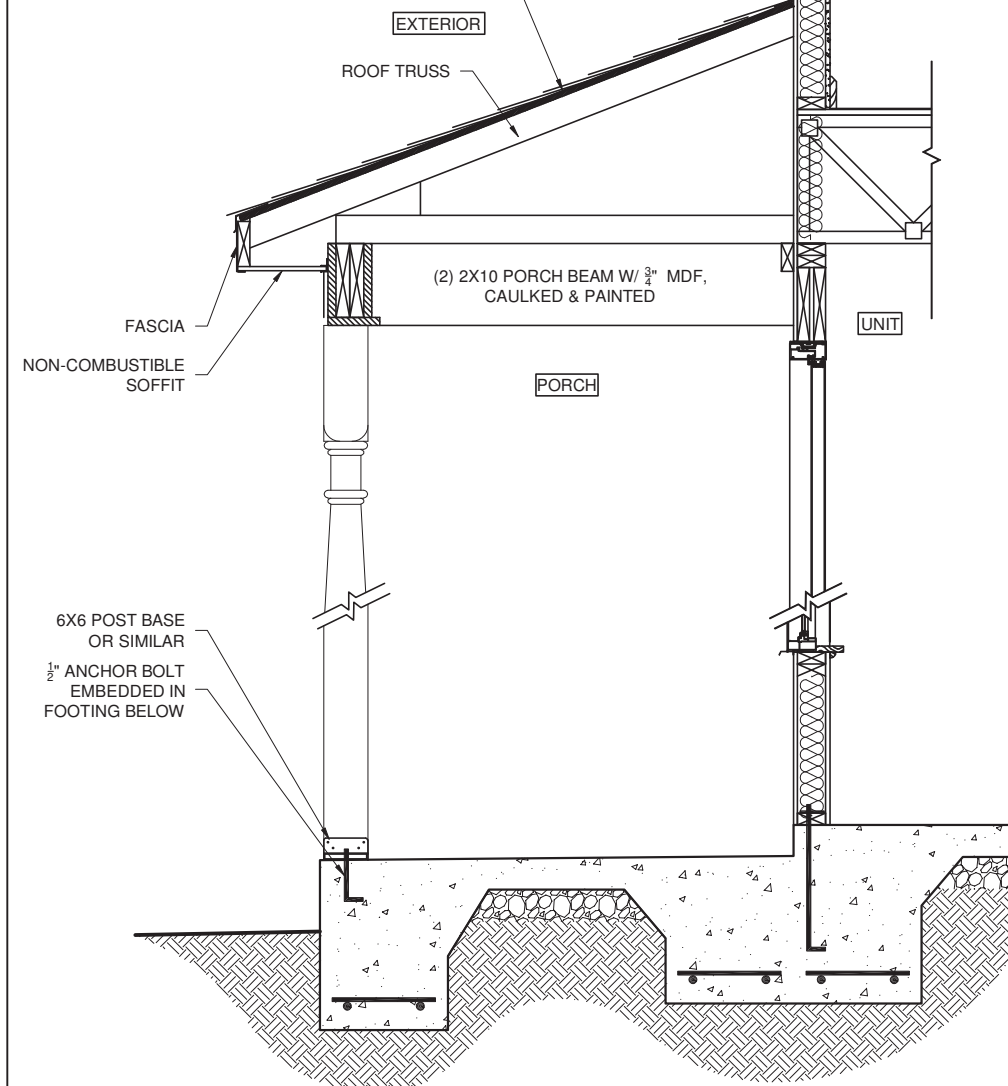


② SIDE ELEVATION
SCALE: $\frac{1}{8}$ "=1'-0"



④ HANDRAIL/GUARDRAIL
IF APPLICABLE

TYPICAL ROOF CONSTRUCTION:
ASPHALT/FIBER GLASS SHINGLES, #15 ROOFING
FELT, $\frac{7}{16}$ " APA RATED ROOF SHEATHING WITH
METAL H-CLIPS. TIE EACH TRUSS/RAFTER END
TO STUD WALL TOP PLATES WITH SIMPSOM H25
TIE (OR EQUIVALENT)



③ TYP. SECTION @ FRONT PORCH
SCALE: $\frac{1}{2}$ "=1'-0"



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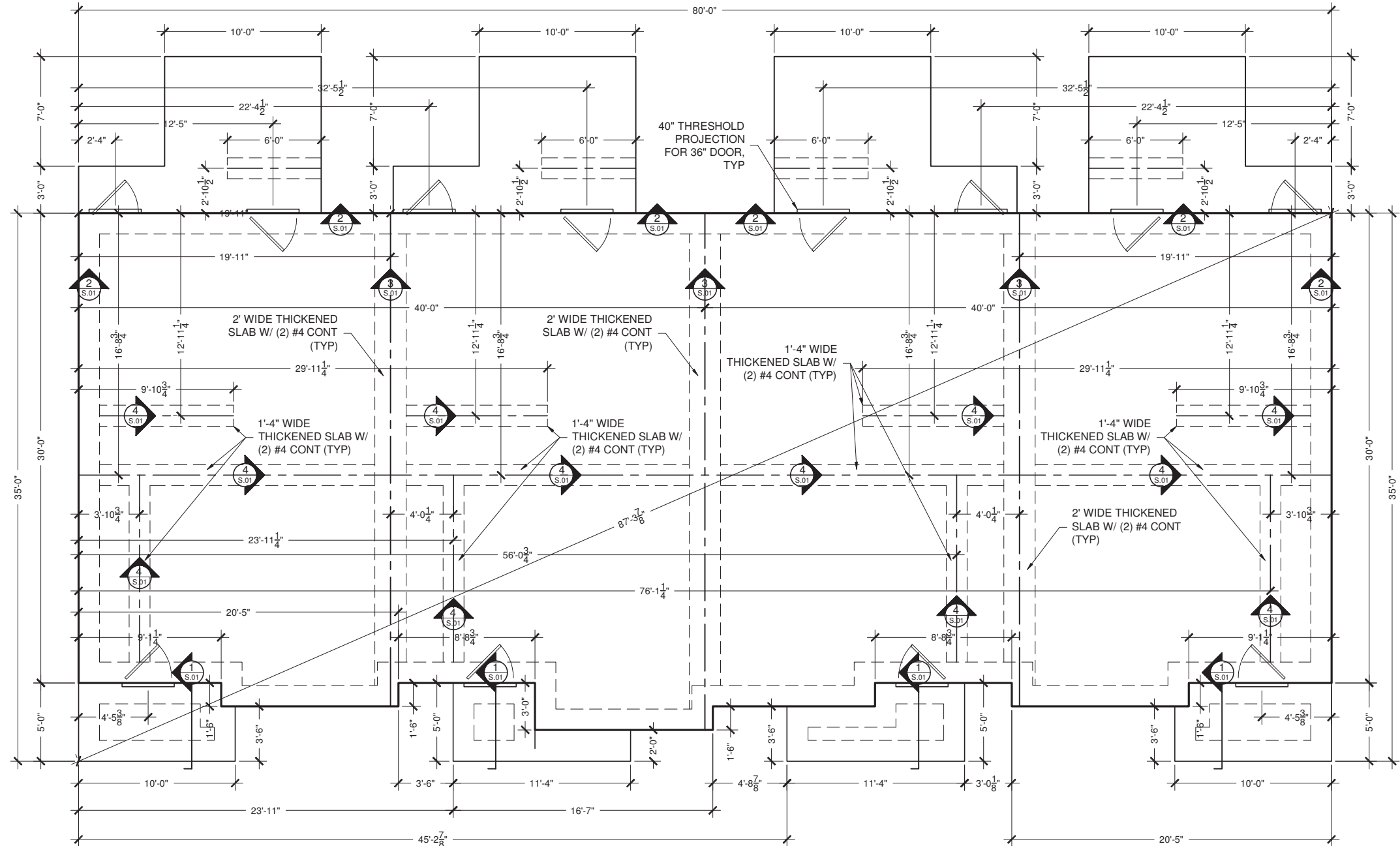
A.03

FOUNDATION NOTES:

1. Dig continuous footing under all foundation walls; 8" minimum thickness, with (2) #4 rebar, continuous, on supports, @ 4'-0" O.C. maximum.
2. All walls, including porches, must be inside set back lines.
3. See plan for thickened slab bearing interior wall locations:
 - 3.1. 10" deep X
4. 4" of 3000 PSI concrete over rigid-d-5 insulation with minimum 4" rigid-d-5 insulation.
5. Strap Anchors: Per NCRC 2018 R403.1.6, Foundation Anchorage
 - 5.1. Locate Simpson MAB15 strap anchors or equiv. within 12" of each corner, both sides of exterior doors, and a minimum of 46" O.C.
 - 5.2. 6.5" minimum embedment; see details Sheet S.01
6. Termite Treatment: Structure to be treated for termites when framing is complete.

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1 FOUNDATION FLOOR PLAN
SCALE: $\frac{1}{8}" = 1'-0"$



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A.04

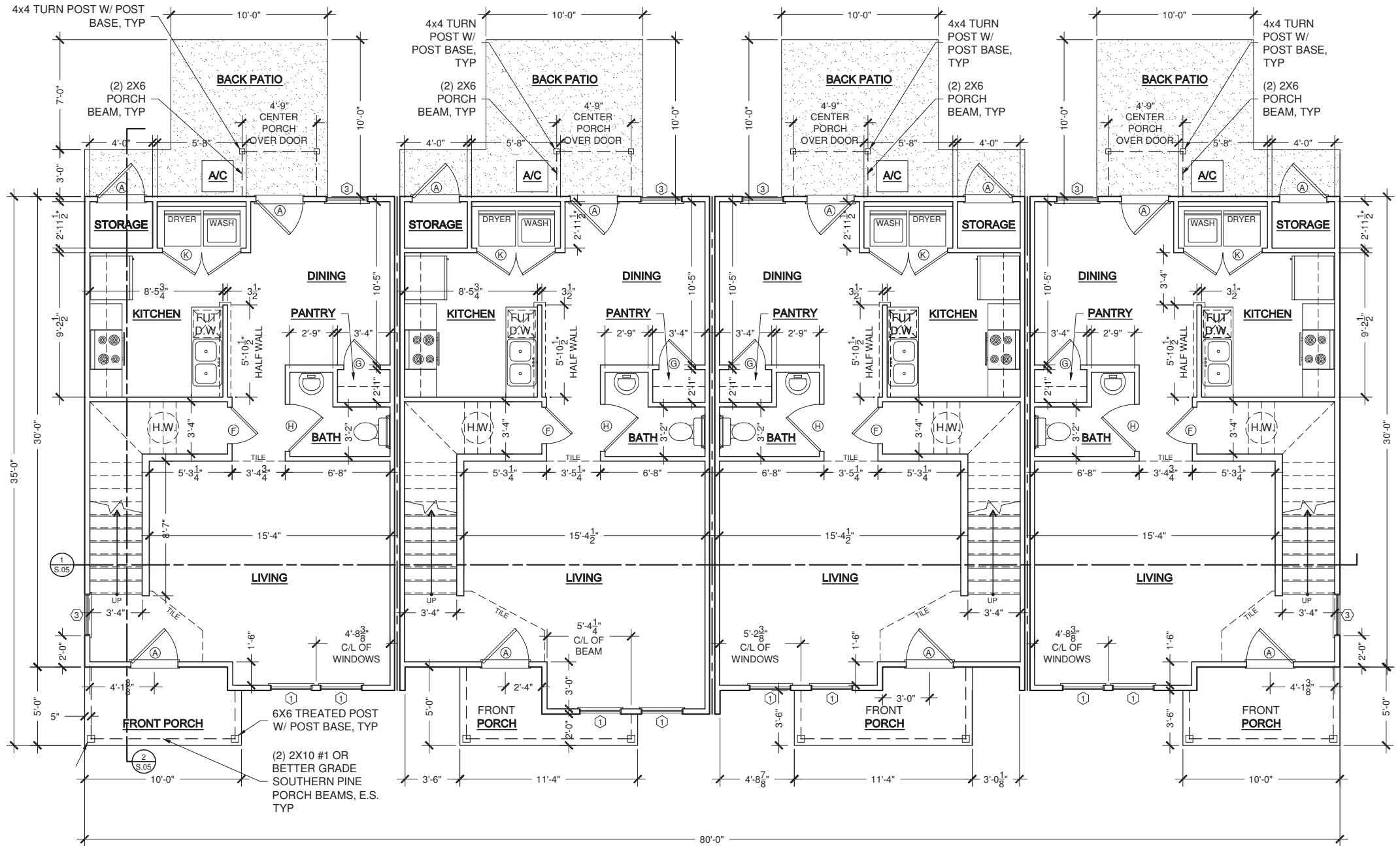
GENERAL NOTES:

- Plans to be built per the 2018 North Carolina Residential Code.
- All dimensions from face face of framing.
- All wall studs are 2X4 unless otherwise noted.
- Bracing Method: CS-WSP (Continuous Sheathing-Wood Structural Panel) per table 602.10.1.
- 1/2" X 4' X 8' continuous, spaced 6" O.C. at edges of the field.
- 1/2" rigid insulation continuous, water-resistive barrier @ exterior walls to be taped with 2" construction tape.
- Face of sheathing @ exterior walls to align with face of masonry below.
- All window locations to be determined on site unless otherwise dimensioned.
- All windows and doors to be covered by porches and flashed.
- All windows and doors shall have an overall U-Factor of .35 or less, and a SHGC of .30 or less.
- Water resistant flooring shall be used in kitchen, bathroom(s), and laundry areas AND w/in 3 feet of all exterior doors.
- Clothes dryer shall be exhausted directly to outdoors.
- Drain and drain pan -OR- single throw supply valve shall be installed for clothes washer.
- Water heater to be located in designated closet as shown; drain and drain pan shall be installed; drain shall lead directly to outdoors.
- HVAC attic return to be located in hall ceiling.
- Engineered roof trusses (by others) shall be installed 2'-0" O.C., in-line with framing below, shall bear on exterior walls ONLY (unless otherwise noted), have a raised heel, and 12" overhangs.
- Any building face within 10' of property line requires protection behind aluminum & vinyl soffits per NCRC 2018 Section R302.1.1.
- TERMITE TREATMENT: Treatment of all framing within 3' of foundation.
- Insulation shall be installed per manufacturer's specs with no substantial gaps, voids, compressions, or wind intrusion. Insulation and air barrier shall be in physical contact with each other.
- Seal external cracks, joints, etc. around windows and doors with caulking and install pest proof screens.
- Provide minimum of 20' X 10' concrete driveway AND 4' sidewalk to front door.

MECKLENBURG COUNTY
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OSB shall be fastened
continuous, spaced
6" O.C. at edges of the field.

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1 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

See notes on cover sheet

WINDOW SCHEDULE:	DOOR SCHEDULE:	WALL HEADERS:		STUD SPACING:		
1. 2'-8"X4'-4"	(A) 36" Exterior Metal Entry Door	Windows 1st	(2) 2X10	Exterior Walls - 2X4s @ 16" O.C.		
2. 2'-8" X 3'0"	(B) 32" Exterior Metal Entry Door	Ext Doors 1st	(2) 2X10	Interior Walls - 2X4s @ 24" O.C.*		
3. 2'-8"X4'-4" Tempered	(C) 24" Interior Door	Windows 2nd	(2) 2X6	*unless otherwise noted		
Meets all egress and glazing requirements per 2018 NC RES BLDG Code	(D) 32" Interior Door	#1 or better grade		UNIT SQUARE FOOTAGE:		
	(E) 18" Interior Door	Southern Pine lumber per NCRC 2018 Table R602.7(1)				
	(F) 30" Interior Door	JACK STUD REQ:			Heated	Unheated
	(G) 28" Interior Door			Victoria Left		
	(H) 36" Interior Door	First floor	(2)	Sutton Left		
	(I) 36" Bi-hung Interior Door	Second floor	(1)	Robinson Right		
	(J) 48" Bi-hung Interior Door	Per Table R602.7(1) of the 2018 NC RES BLDG Code		Victoria Right		
	(K) 60" Bi-hung Interior Door					



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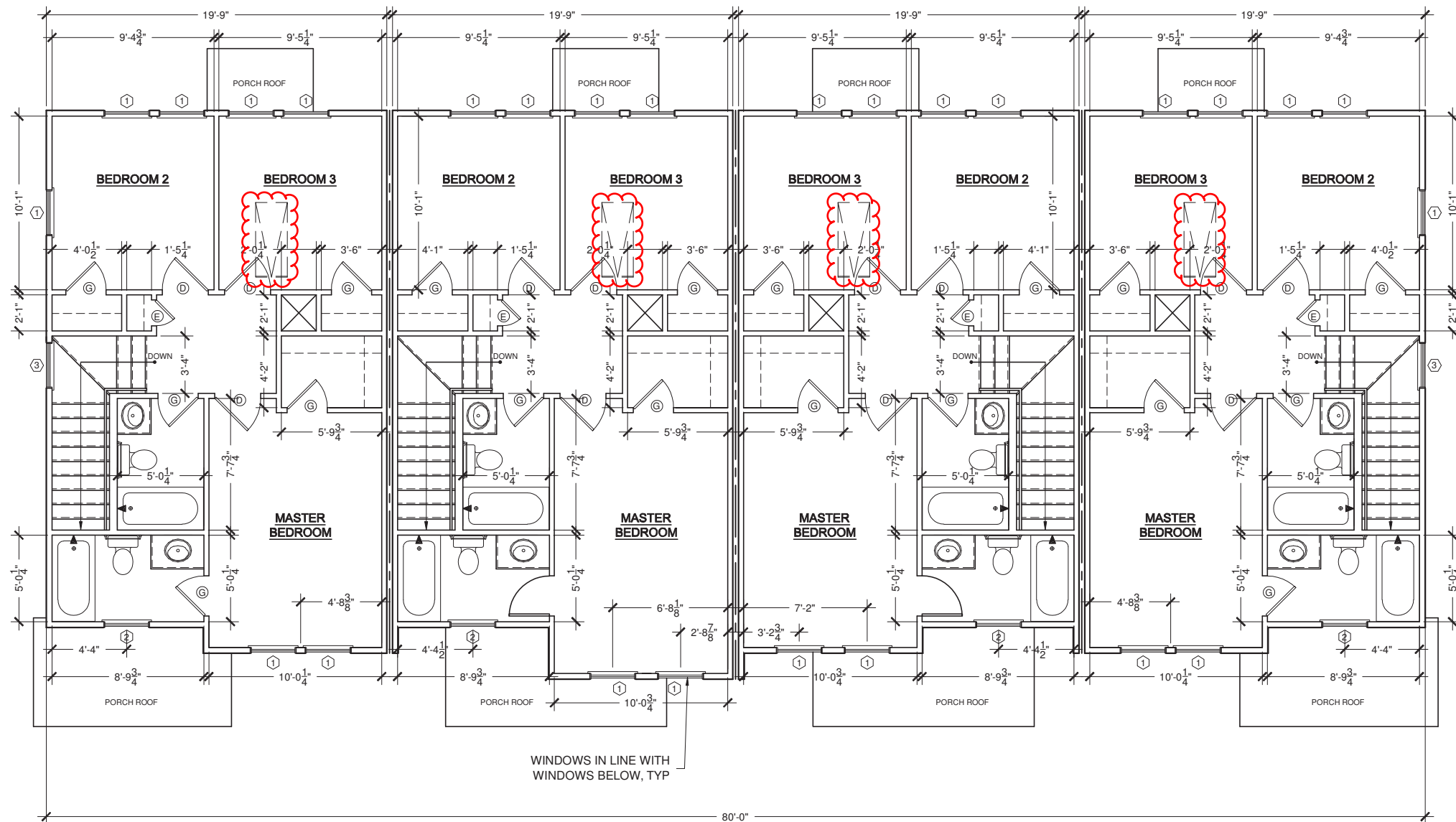
SHEET #:

A.05

GENERAL NOTES:

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- All dimensions from face face of framing.
- All wall studs are 2X4 unless otherwise noted.
- Bracing Method: CS-WSP (Continuous Sheathing-Wood Structural Panel) per table 602.10.1.
- 4.1. 1/2" X 4' X 8' OSB shall be fastened continuous, 6" O.C. at edges and field.
5. 1/2" rigid insulation shall be installed over water-resistive barrier and all joints to be taped with 2" construction tape.
6. Face of sheathing @ exterior walls to align with face of masonry below.
7. All window locations to be determined on site unless otherwise dimensioned.
8. All windows and doors to be covered by porches and flashed.
9. All windows and doors shall have an overall U-Factor of .35 or less, and a SHGC of .30 or less.
10. Water resistant flooring shall be used in kitchen, bathroom(s), and laundry areas AND w/in 3 feet of all exterior doors.
11. Clothes dryer shall be exhausted directly to outdoors.
12. Drain and drain pan -OR- single throw supply valve shall be installed for clothes washer.
13. Water heater to be located in designated closet as shown; drain and drain pan shall be installed; drain shall lead directly to outdoors.
14. HVAC attic return to be located in hall ceiling.
15. Engineered roof trusses (by others) shall be installed 2'-0" O.C., in-line with framing below, shall bear on exterior walls ONLY (unless otherwise noted), have a raised heel, and 12" overhangs.
16. Any building face within 10' of property line requires protection behind aluminum & vinyl soffits per NCRC 2018 Section R302.1.1.
17. TERMITE TREATMENT: Treatment of all framing within 3' of foundation.
18. Insulation shall be installed per manufacturer's specs with no substantial gaps, voids, compressions, or wind intrusion. Insulation and air barrier shall be in physical contact with each other.
19. Seal external cracks, joints, etc. around windows and doors with caulking and install pest proof screens.
20. Provide minimum of 20' X 10' concrete driveway AND 4' sidewalk to front door.

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1 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

WINDOW SCHEDULE:	DOOR SCHEDULE:	WALL HEADERS:		STUD SPACING:		
1. 2'-8"X4'-4" 2. 2'-8" X 3'0" 3. 2'-8"X4'-4" Tempered	(A) 36" Exterior Metal Entry Door	Windows 1st	(2) 2X10	Exterior Walls - 2X4s @ 16" O.C.		
	(B) 32" Exterior Metal Entry Door	Ext Doors 1st	(2) 2X10	Interior Walls - 2X4s @ 24" O.C.*		
	(C) 24" Interior Door	Windows 2nd	(2) 2X6	*unless otherwise noted		
Meets all egress and glazing requirements per 2018 NC RES BLDG Code	(D) 32" Interior Door	#1 or better grade		UNIT SQUARE FOOTAGE:		
	(E) 18" Interior Door	Southern Pine lumber per NCRC 2018 Table R602.7(1)				
	(F) 30" Interior Door	JACK STUD REQ:			Heated	Unheated
	(G) 28" Interior Door			Victoria Left		
	(H) 36" Interior Door		Sutton Left			
	(I) 36" Bi-hung Interior Door	First floor	(2)	Robinson Right		
	(J) 48" Bi-hung Interior Door	Second floor	(1)	Victoria Right		
	(K) 60" Bi-hung Interior Door	Per Table R602.7(1) of the 2018 NC RES BLDG Code				



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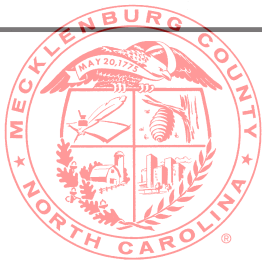
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925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

DATE:
NOVEMBER 4, 2019

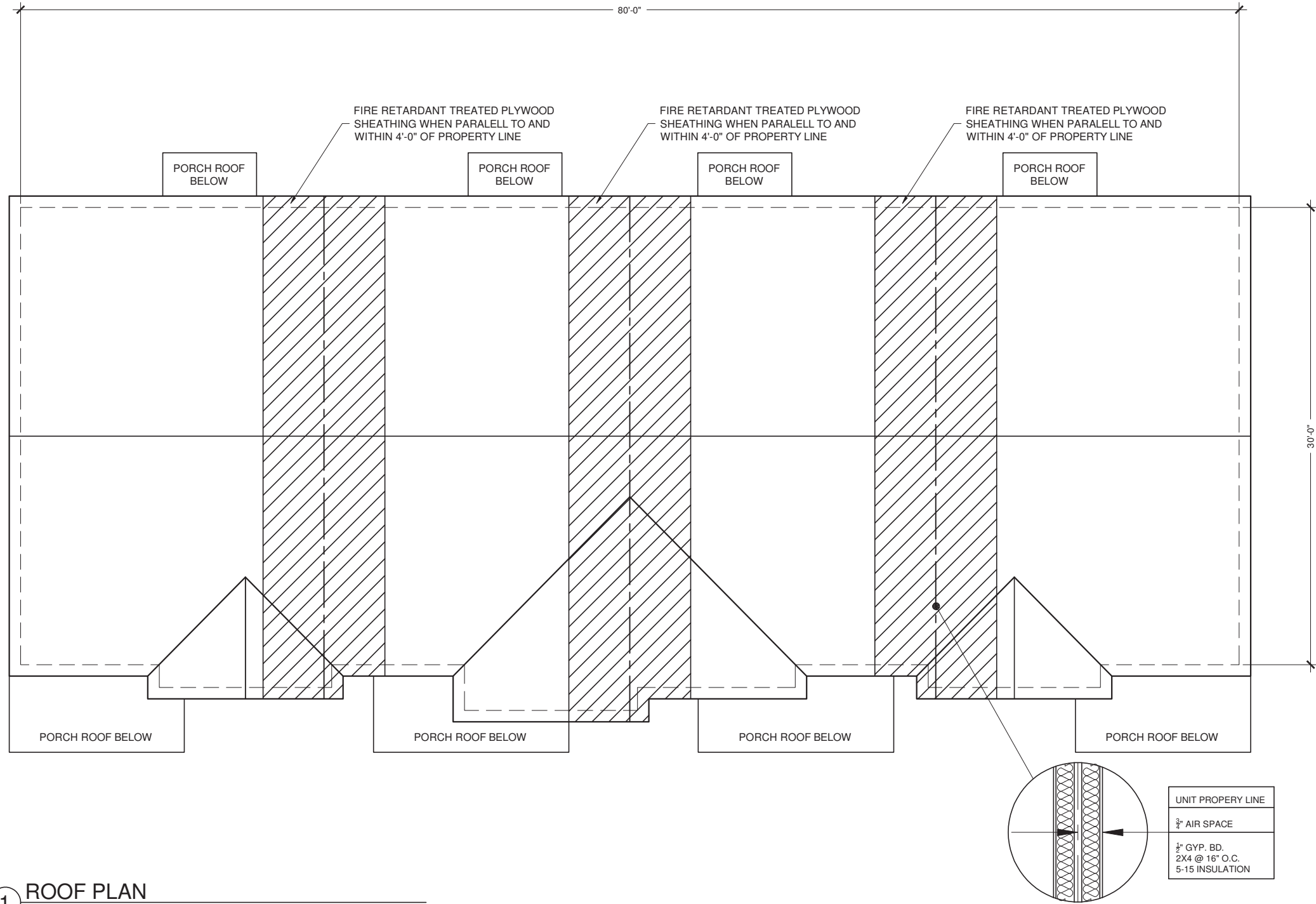
SHEET #:

A.06



MECKLENBURG COUNTY
CODE ENFORCEMENT

Residential Plan Review Disclaimer:
A limited plan review for compliance
with the NC State Residential Code
was performed on these plans.
It is the Responsibility Of The
Contractor to construct this project
using good engineering practice and
in full compliance with the North
Carolina Residential Code, local
ordinances, and State regulations.



1 ROOF PLAN
SCALE: $\frac{1}{8}$ "=1'-0"

ATTIC VENTILATION

500 SQ. FT. OF CEILING/300	=	2.0 SQ. FT. REQ.
RIDGE VENTS = 2.0 X 0.5	=	1.0 SQ. FT. REQ.
0.083 SQ. FT. VENT/LN. FT.	=	12.1 LN. FT. REQ.
(1.0 / .083 = 12.1)		
SOFFIT VENTS = 2.0 X 0.5	=	1.0 SQ. FT. REQ.
0.062 SQ. FT. VENT/LN. FT.	=	16.3 LN. FT. REQ.
(1.0 / .062 = 16.13)		

*NOTE: CALCULATIONS ARE PER UNIT (19'-9" X 30'-0")



3815 LATROBE DRIVE
CHARLOTTE, NC 28211

TELEPHONE: 704-376-2054
FAX: 704-342-1797

DWN. BY: CARRIE MASTO
cmasto@habitatcharlotte.org

ENGINEER:
Gavel and Dorn Engineering
6730 Freedom Drive
Charlotte, NC 28214
(704)-919-1900

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITISIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

DATE:
NOVEMBER 4, 2019

SHEET #:

A.07

GENERAL NOTES:

- Plans to be built per the 2018 North Carolina Residential Code.
- All dimensions from face face of framing.
- All wall studs are 2X4 unless otherwise noted.
- Bracing Method: CS-WSP (Continuous Sheathing-Wood Structural Panel) per table 602.10.1.
1. 1/2" X 4' X 8' OSB shall be fastened continuous, 6" O.C. at edges and field.
- 1/2" rigid insulation shall be installed over water-resistive barrier and all joints to be taped with 2" construction tape.
- Face of sheathing @ exterior walls to align with face of masonry below.
- All window locations to be determined on site unless otherwise dimensioned.
- All windows and doors to be covered by porches and flashed.
- All windows and doors shall have an overall U-Factor of .35 or less, and a SHGC of .30 or less.
- Water resistant flooring shall be used in kitchen, bathroom(s), and laundry areas AND w/in 3 feet of all exterior doors.
- Clothes dryer shall be exhausted directly to outdoors.
- Drain and drain pan -OR- single throw supply valve shall be installed for clothes washer.
- Water heater to be located in designated closet as shown; drain and drain pan shall be installed; drain shall lead directly to outdoors.
- HVAC attic return to be located in hall ceiling.
- Engineered roof trusses (by others) shall be installed 2'-0" O.C., in-line with framing below, shall bear on exterior walls ONLY (unless otherwise noted), have a raised heel, and 12" overhangs.
- Any building face within 10' of property line requires protection behind aluminum & vinyl soffits per NCRC 2018 Section R302.1.1.
- TERMITE TREATMENT: Treatment of all framing within 3' of foundation.
- Insulation shall be installed per manufacturer's specs with no substantial gaps, voids, compressions, or wind intrusion. Insulation and air barrier shall be in physical contact with each other.
- Seal external cracks, joints, etc. around windows and doors with caulking and install pest proof screens.
- Provide minimum of 20' X 10' concrete driveway AND 4' sidewalk to front door.

WINDOW SCHEDULE:

- 2'-8"X4'-4"
 - 2'-8" X 3'0"
 - 2'-8"X4'-4" Tempered
- Meets all egress and glazing requirements per 2018 NC RES BLDG Code

STUD SPACING:

Ext. Walls - 2X4s @ 16" O.C.
Int. Walls - 2X4s @ 24" O.C.*

UNIT SQUARE FOOTAGE:

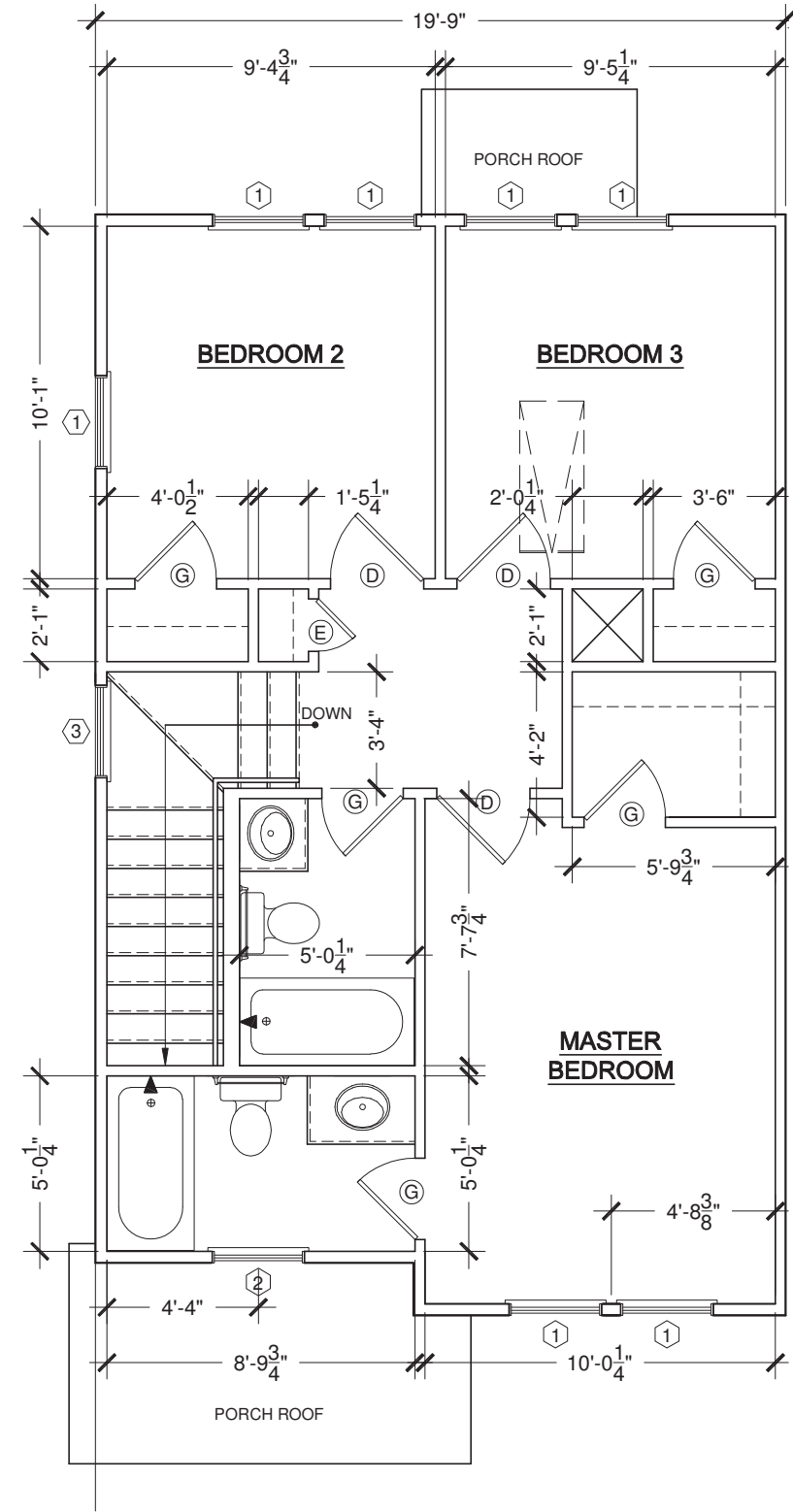
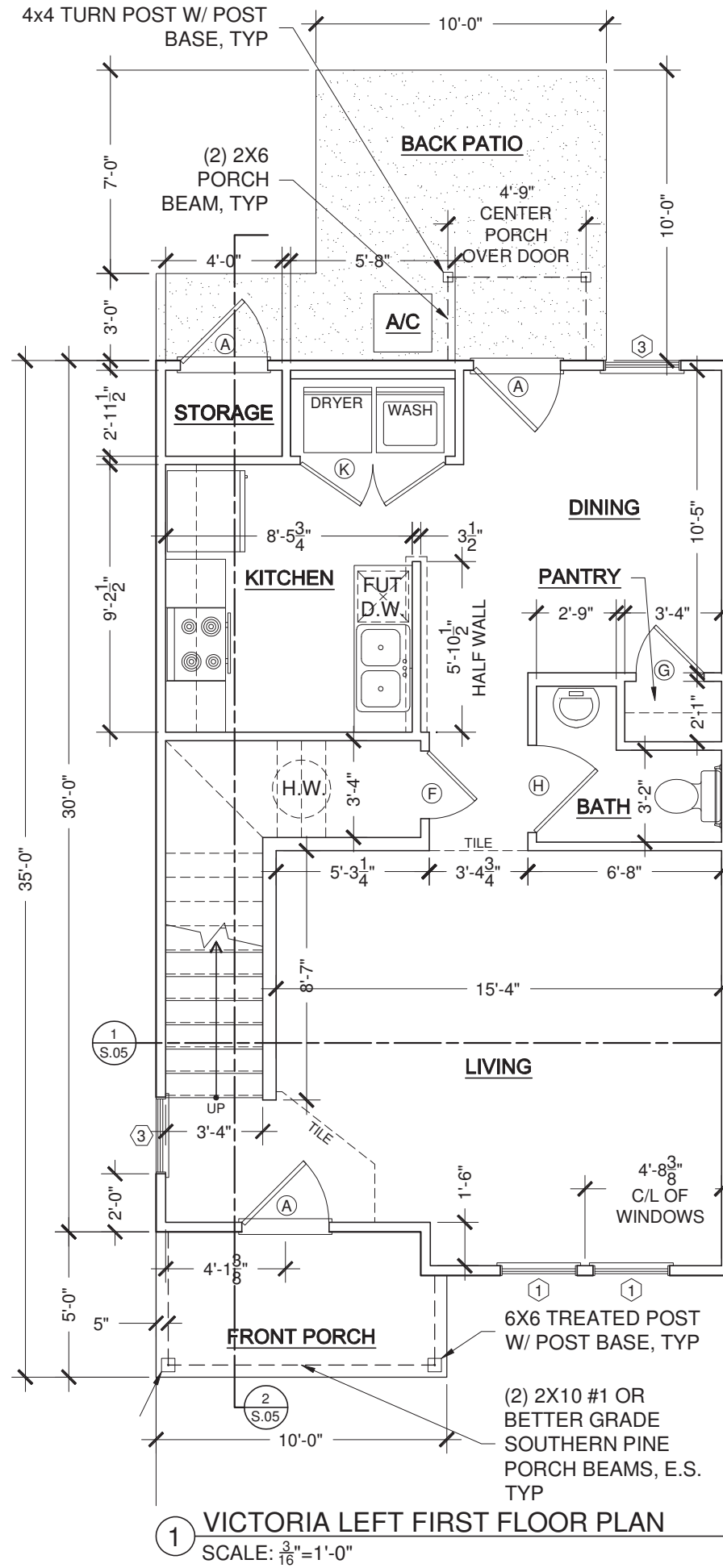
Heated	Unheated

DOOR SCHEDULE:

- | | |
|-----|-------------------------------|
| (A) | 36" Exterior Metal Entry Door |
| (B) | 32" Exterior Metal Entry Door |
| (C) | 24" Interior Door |
| (D) | 32" Interior Door |
| (E) | 18" Interior Door |
| (F) | 30" Interior Door |
| (G) | 28" Interior Door |
| (H) | 36" Interior Door |
| (I) | 36" Bi-hung Interior Door |
| (J) | 48" Bi-hung Interior Door |
| (K) | 60" Bi-hung Interior Door |

WALL HEADERS:

- | | |
|---|----------|
| Windows 1st | (2) 2X10 |
| Ext Doors 1st | (2) 2X10 |
| Windows 2nd | (2) 2X6 |
| #1 or better grade Southern Pine lumber per NCRC 2018 Table R602.7(1) | |
| JACK STUD REQ: | |
| First floor | (2) |
| Second floor | (1) |
| Per Table R602.7(1) | |



3815 LATROBE DRIVE
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ENGINEER:
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(704)-919-1900

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITISIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

DATE:
NOVEMBER 4, 2019

SHEET #:

A.08

GENERAL NOTES:

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- All dimensions from face face of framing.
- All wall studs are 2X4 unless otherwise noted.
- Bracing Method: CS-WSP (Continuous Sheathing-Wood Structural Panel) per table 602.10.1.
- 1/2" X 4' X 8' OSB shall be fastened continuous, spaced 6" O.C. at edges of the field.
- 1/2" rigid insulation shall be applied to exterior walls and water-resistive barrier shall be applied to all joints to be taped with 2" construction tape.
- Face of sheathing @ exterior walls to align with face of masonry below.
- All window locations to be determined on site unless otherwise dimensioned.
- All windows and doors to be covered by porches and flashed.
- All windows and doors shall have an overall U-Factor of .35 or less, and a SHGC of .30 or less.
- Water resistant flooring shall be used in kitchen, bathroom(s), and laundry areas AND w/in 3 feet of all exterior doors.
- Clothes dryer shall be exhausted directly to outdoors.
- Drain and drain pan -OR- single throw supply valve shall be installed for clothes washer.
- Water heater to be located in designated closet as shown; drain and drain pan shall be installed; drain shall lead directly to outdoors.
- HVAC attic return to be located in hall ceiling.
- Engineered roof trusses (by others) shall be installed 2'-0" O.C., in-line with framing below, shall bear on exterior walls ONLY (unless otherwise noted), have a raised heel, and 12" overhangs.
- Any building face within 10' of property line requires protection behind aluminum & vinyl soffits per NCRC 2018 Section R302.1.1.
- TERMITE TREATMENT: Treatment of all framing within 3' of foundation.
- Insulation shall be installed per manufacturer's specs with no substantial gaps, voids, compressions, or wind intrusion. Insulation and air barrier shall be in physical contact with each other.
- Seal external cracks, joints, etc. around windows and doors with caulking and install pest proof screens.
- Provide minimum of 20' X 10' concrete driveway AND 4' sidewalk to front door.

WINDOW SCHEDULE:

- 2'-8"X4'-4"
 - 2'-8" X 3'0"
 - 2'-8"X4'-4" Tempered
- Meets all egress and glazing requirements per 2018 NC RES BLDG Code

STUD SPACING:

Ext. Walls - 2X4s @ 16" O.C.
Int. Walls - 2X4s @ 24" O.C.*

UNIT SQUARE FOOTAGE:

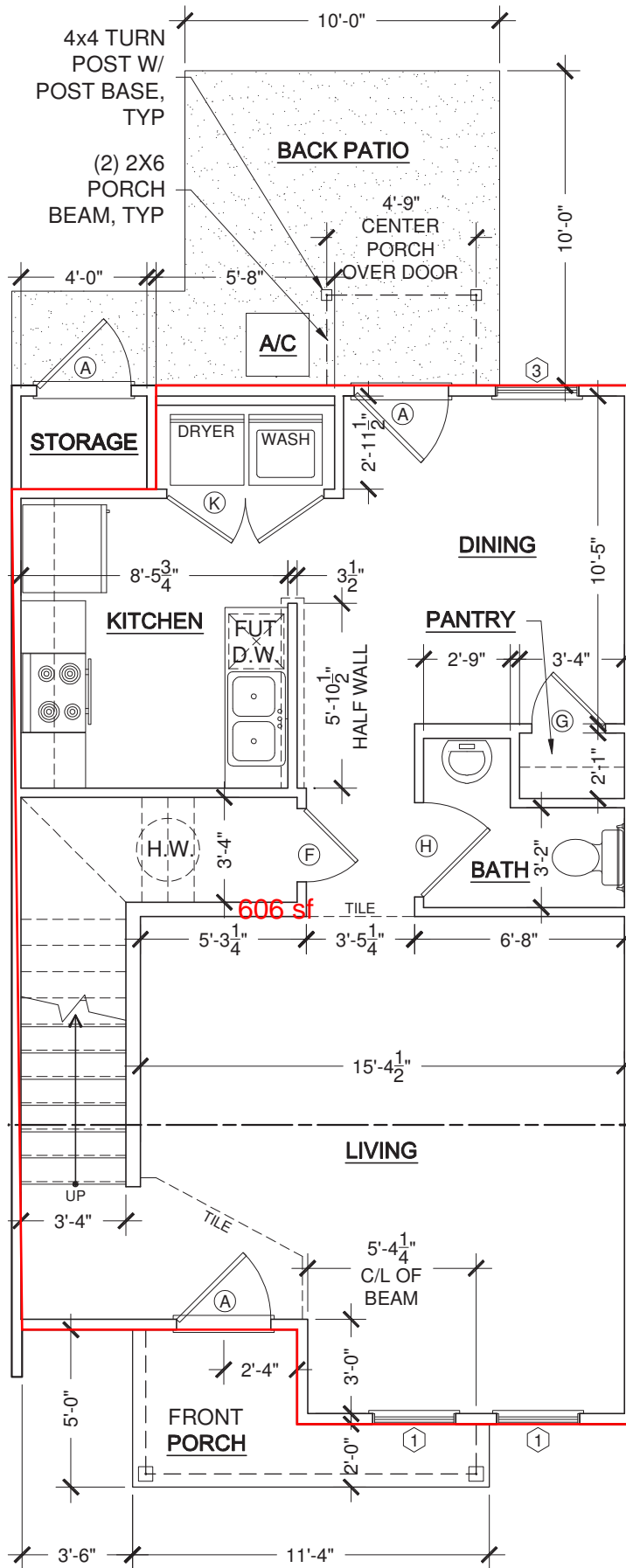
Heated	Unheated

DOOR SCHEDULE:

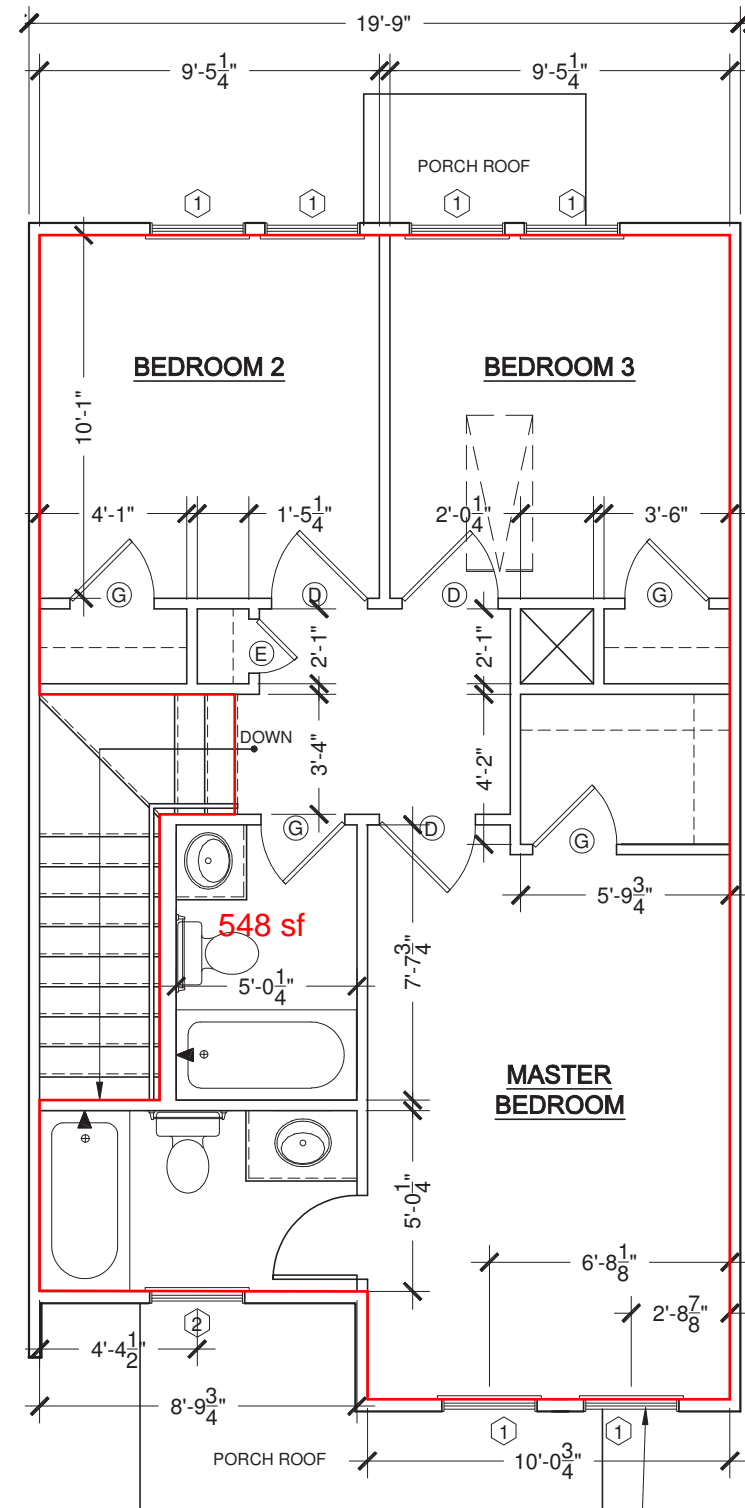
- | | |
|-----|-------------------------------|
| (A) | 36" Exterior Metal Entry Door |
| (B) | 32" Exterior Metal Entry Door |
| (C) | 24" Interior Door |
| (D) | 32" Interior Door |
| (E) | 18" Interior Door |
| (F) | 30" Interior Door |
| (G) | 28" Interior Door |
| (H) | 36" Interior Door |
| (I) | 36" Bi-hung Interior Door |
| (J) | 48" Bi-hung Interior Door |
| (K) | 60" Bi-hung Interior Door |

WALL HEADERS:

- | | |
|---|----------|
| Windows 1st | (2) 2X10 |
| Ext Doors 1st | (2) 2X10 |
| Windows 2nd | (2) 2X6 |
| #1 or better grade Southern Pine lumber per NCRC 2018 Table R602.7(1) | |
| JACK STUD REQ: | |
| First floor | (2) |
| Second floor | (1) |
| Per Table R602.7(1) | |



1 SUTTON LEFT FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"



2 SUTTON LEFT SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



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HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITISIDE
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CHARLOTTE, NC 28215

DATE:
NOVEMBER 4, 2019

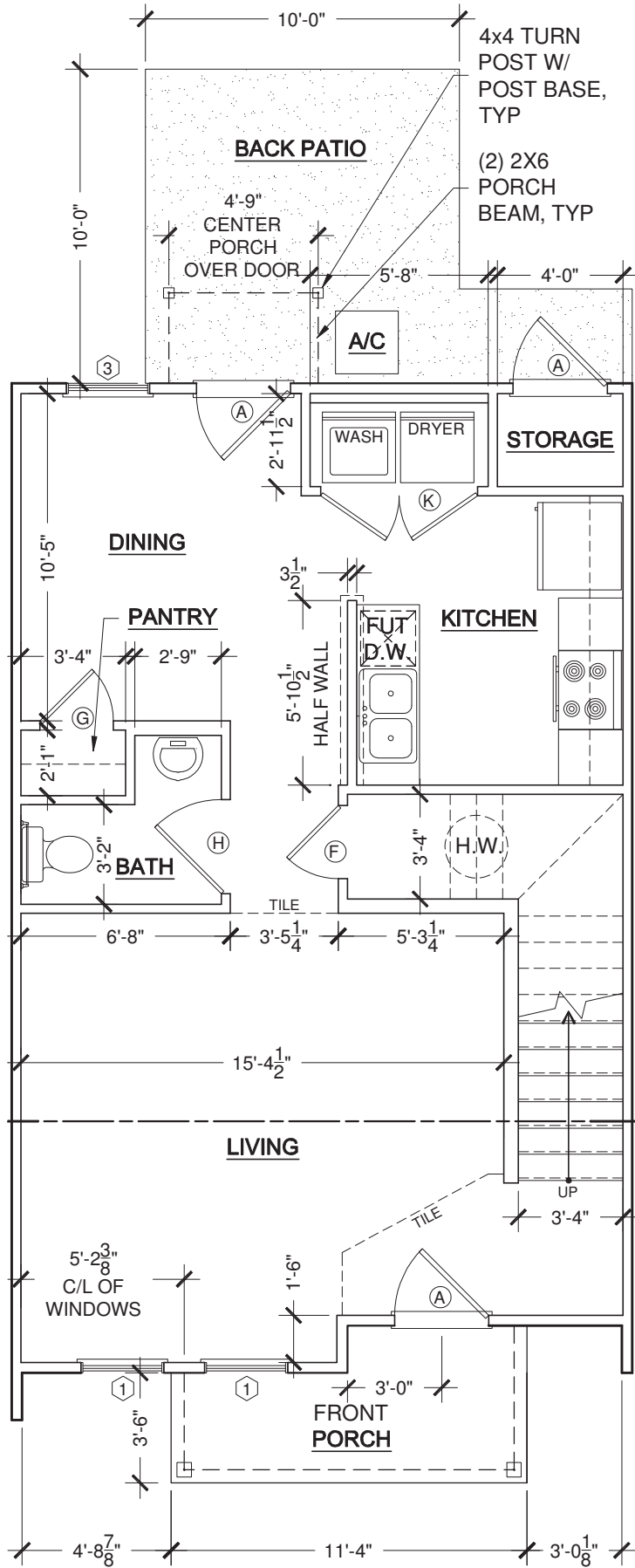
SHEET #:

A.09

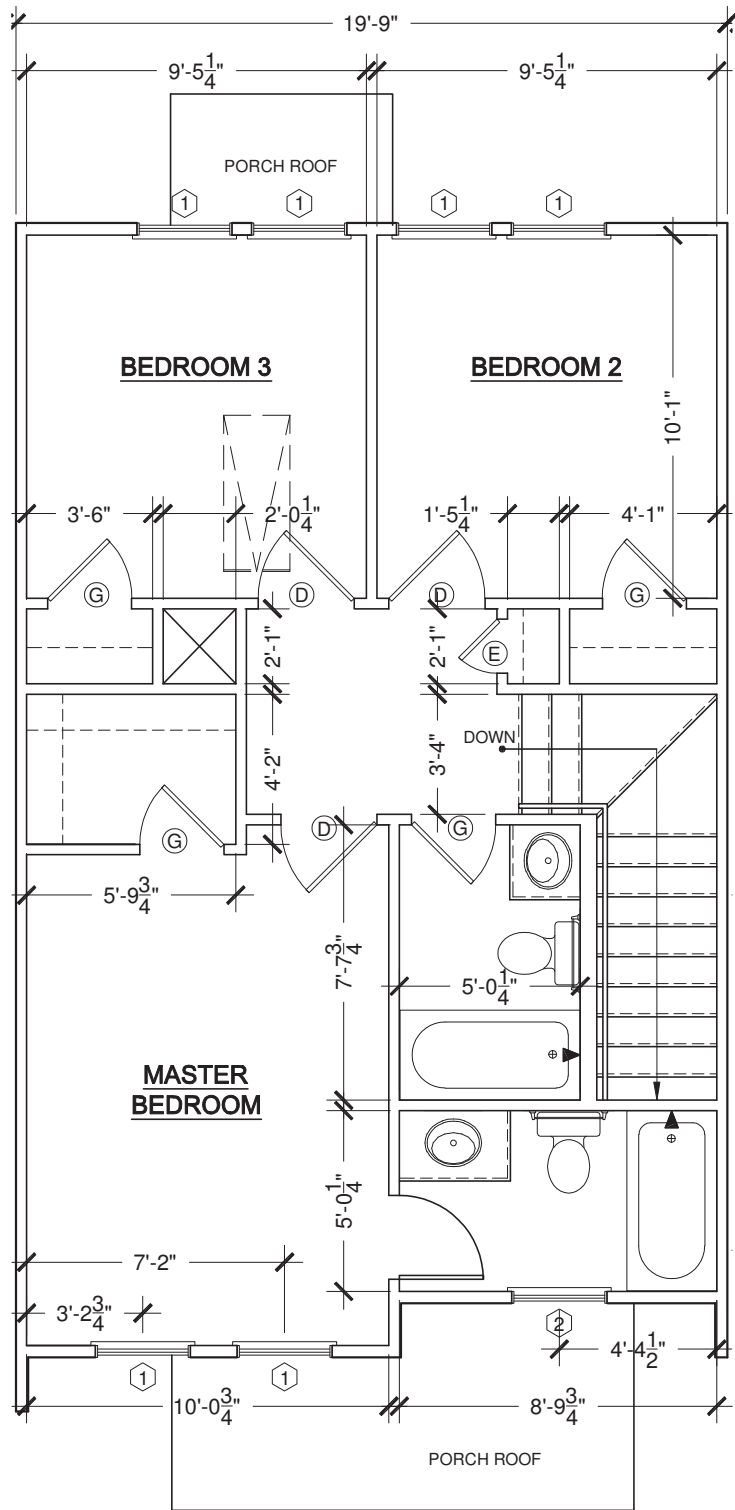
GENERAL NOTES:

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- Insulation shall be installed per manufacturer's specs with no substantial gaps, voids, compressions, or wind intrusion. Insulation and air barrier shall be in physical contact with each other.
- Seal external cracks, joints, etc. around windows and doors with caulking and install pest proof screens.
- Provide minimum of 20' X 10' concrete driveway AND 4' sidewalk to front door.

WINDOW SCHEDULE:		DOOR SCHEDULE:	WALL HEADERS:
1. 2'-8"X4'-4"		(A) 36" Exterior Metal Entry Door	Windows 1st (2) 2X10
2. 2'-8" X 3'0"		(B) 32" Exterior Metal Entry Door	Ext Doors 1st (2) 2X10
3. 2'-8"X4'-4" Tempered		(C) 24" Interior Door	Windows 2nd (2) 2X6
Meets all egress and glazing requirements per 2018 NC RES BLDG Code		(D) 32" Interior Door	#1 or better grade Southern Pine lumber per NCRC 2018 Table R602.7(1)
STUD SPACING:		(E) 18" Interior Door	
Ext. Walls - 2X4s @ 16" O.C.		(F) 30" Interior Door	
Int. Walls - 2X4s @ 24" O.C.*		(G) 28" Interior Door	JACK STUD REQ:
UNIT SQUARE FOOTAGE:		(H) 36" Interior Door	First floor (2)
Heated	Unheated	(I) 36" Bi-hung Interior Door	Second floor (1)
		(J) 48" Bi-hung Interior Door	Per Table R602.7(1)
		(K) 60" Bi-hung Interior Door	



1 ROBINSON RIGHT FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"



2 ROBINSON RIGHT SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



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NOVEMBER 4, 2019

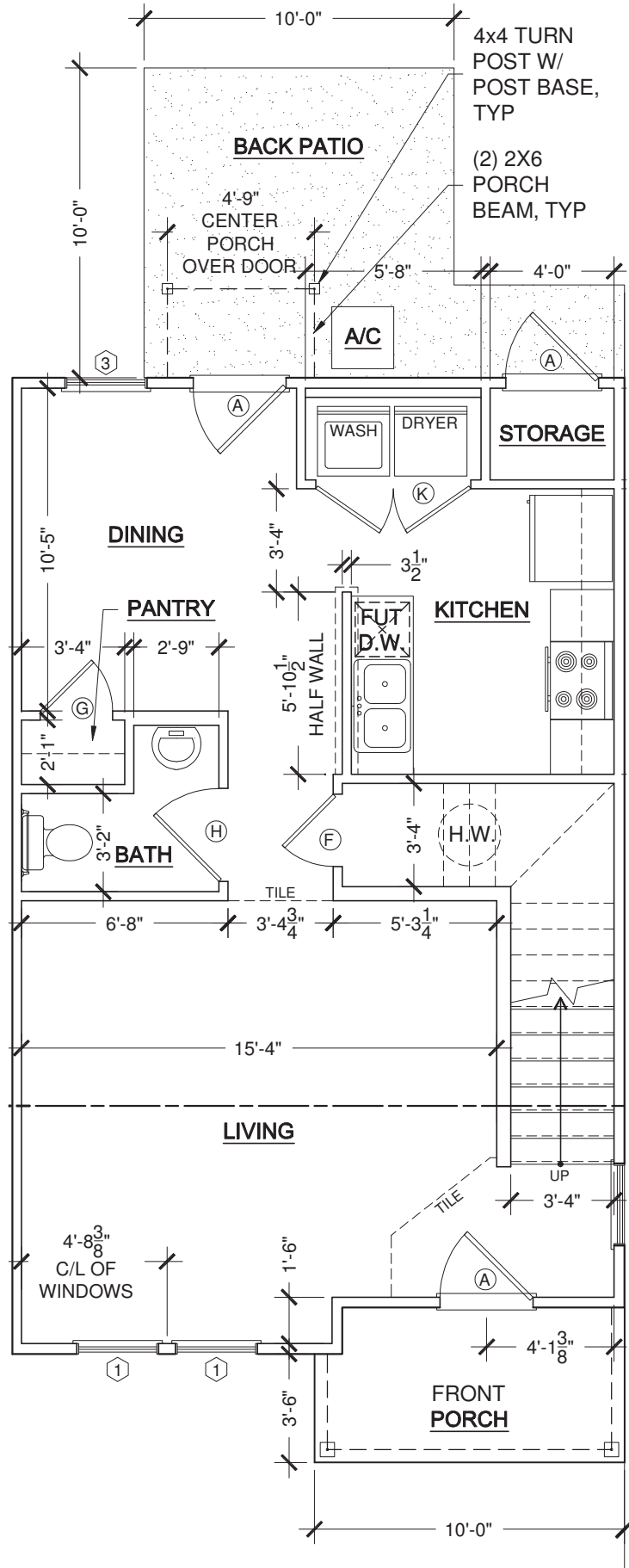
SHEET #:

A.10

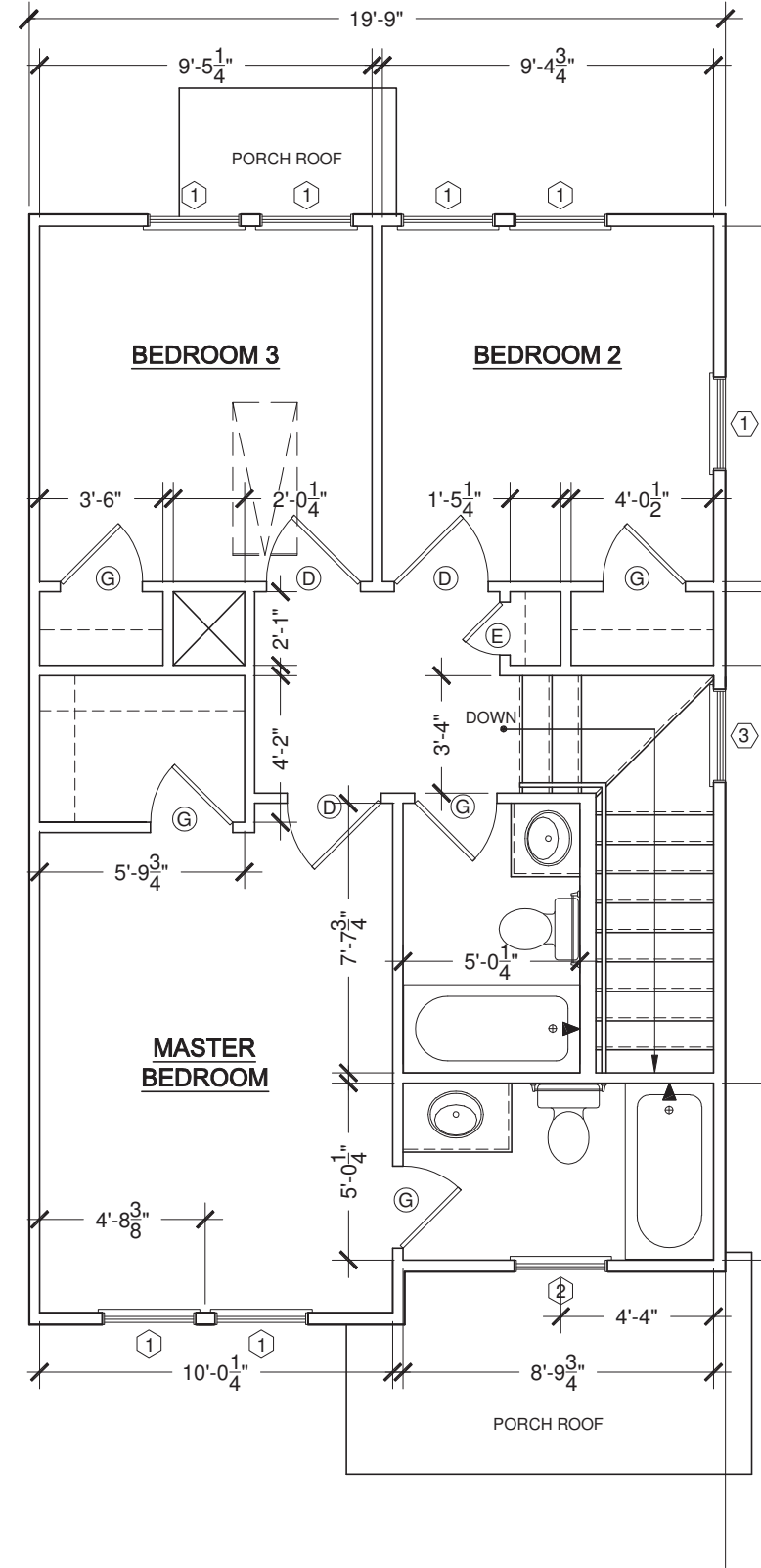
GENERAL NOTES:

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WINDOW SCHEDULE:		DOOR SCHEDULE:	WALL HEADERS:
1. 2'-8"X4'-4"		(A) 36" Exterior Metal Entry Door	Windows 1st (2) 2X10
2. 2'-8" X 3'0"		(B) 32" Exterior Metal Entry Door	Ext Doors 1st (2) 2X10
3. 2'-8"X4'-4" Tempered		(C) 24" Interior Door	Windows 2nd (2) 2X6
Meets all egress and glazing requirements per 2018 NC RES BLDG Code		(D) 32" Interior Door	#1 or better grade Southern Pine lumber per NCRC 2018 Table R602.7(1)
STUD SPACING:		(E) 18" Interior Door	JACK STUD REQ:
Ext. Walls - 2X4s @ 16" O.C.		(F) 30" Interior Door	First floor (2)
Int. Walls - 2X4s @ 24" O.C.*		(G) 28" Interior Door	Second floor (1)
UNIT SQUARE FOOTAGE:		(H) 36" Interior Door	Per Table R602.7(1)
Heated	Unheated	(I) 36" Bi-hung Interior Door	
		(J) 48" Bi-hung Interior Door	
		(K) 60" Bi-hung Interior Door	



1 VICTORIA RIGHT FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"



2 VICTORIA RIGHT SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



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CHARLOTTE, NC 28211

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CHARLOTTE, NC 28215

DATE:
NOVEMBER 4, 2019

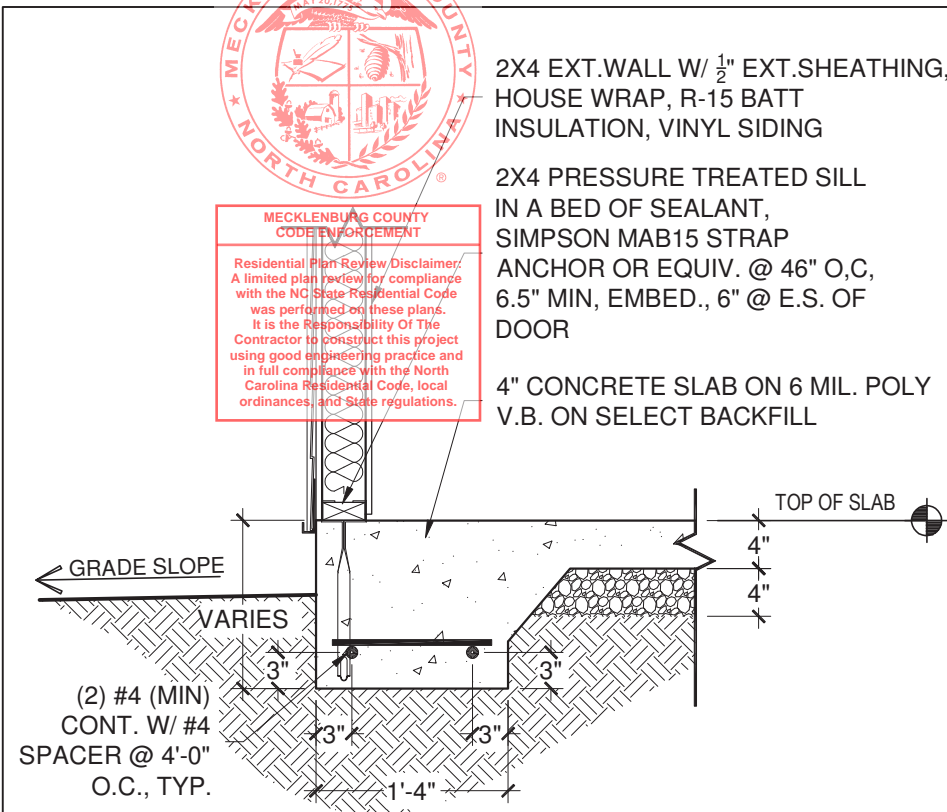
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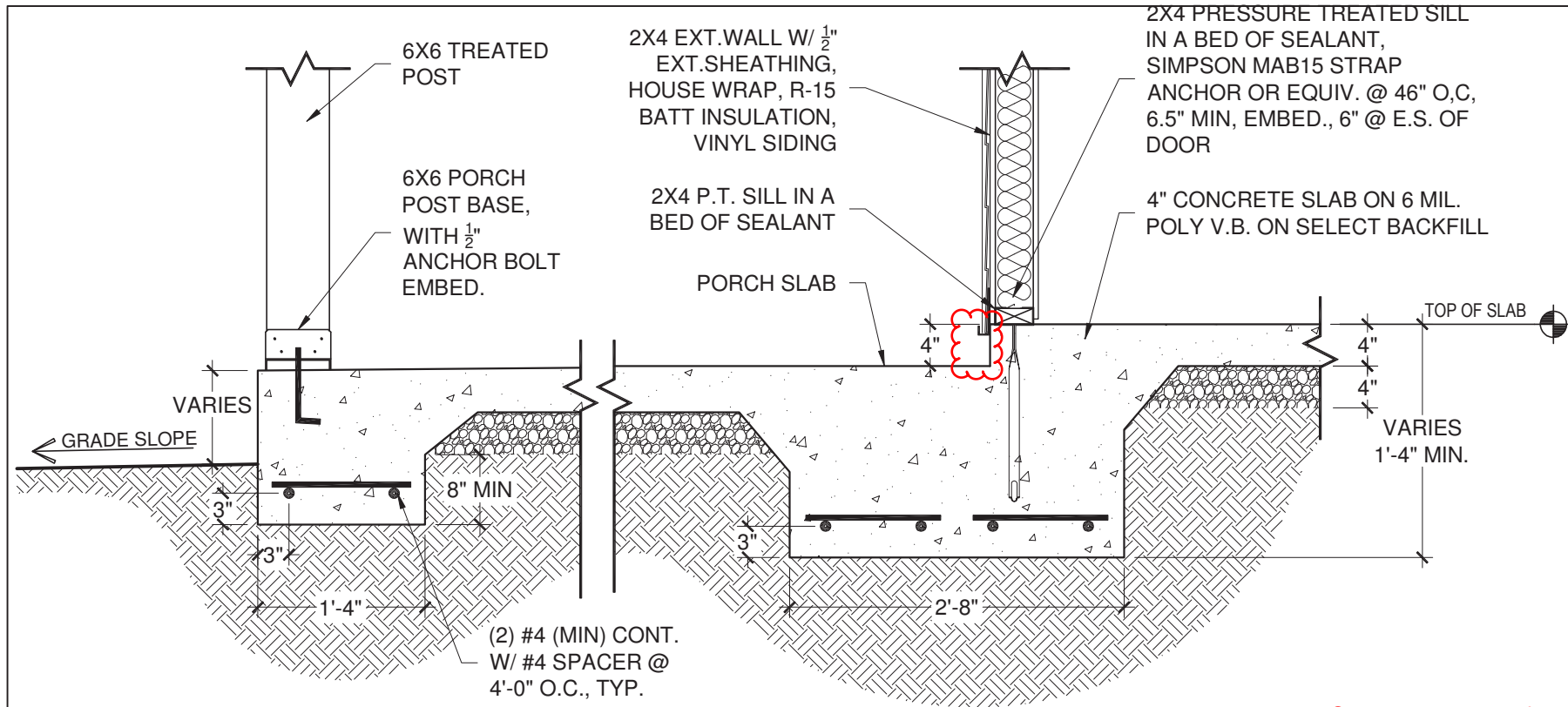


MECKLENBURG COUNTY
CODE ENFORCEMENT

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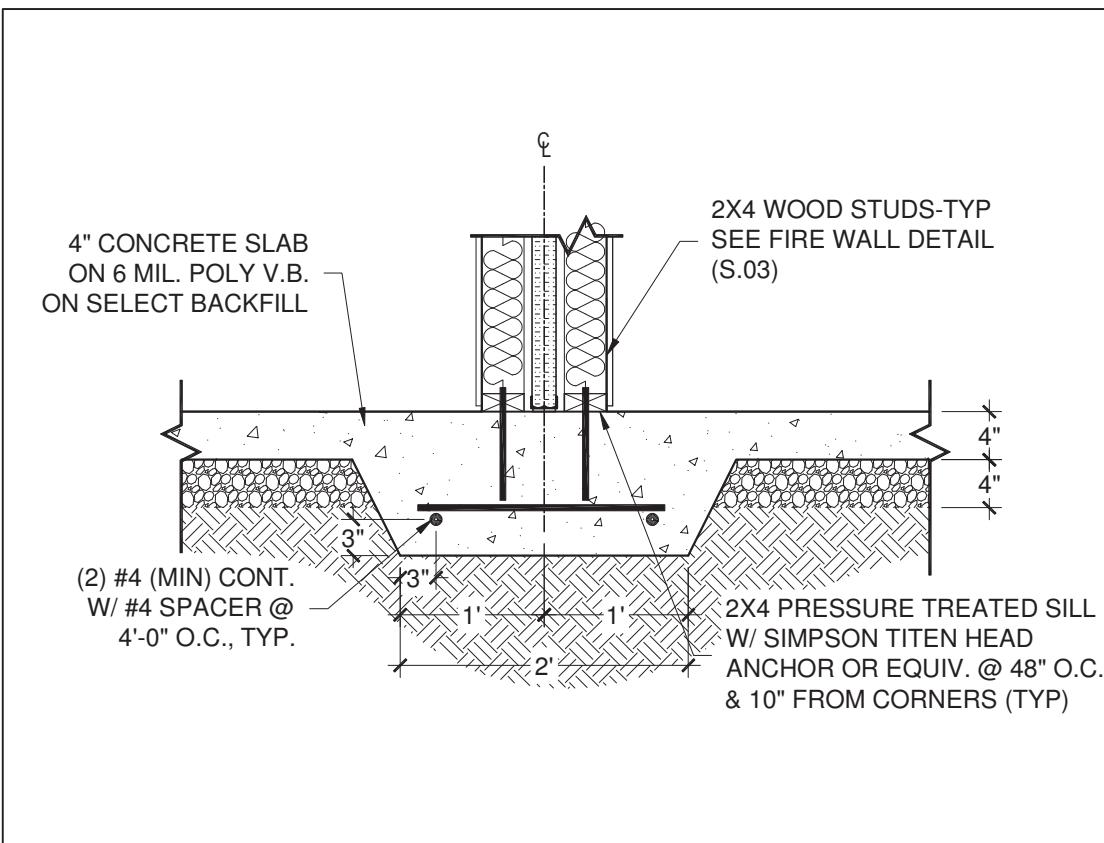


1 FOUNDATION WALL (TYP.)
SCALE: 3/4"=1'-0"

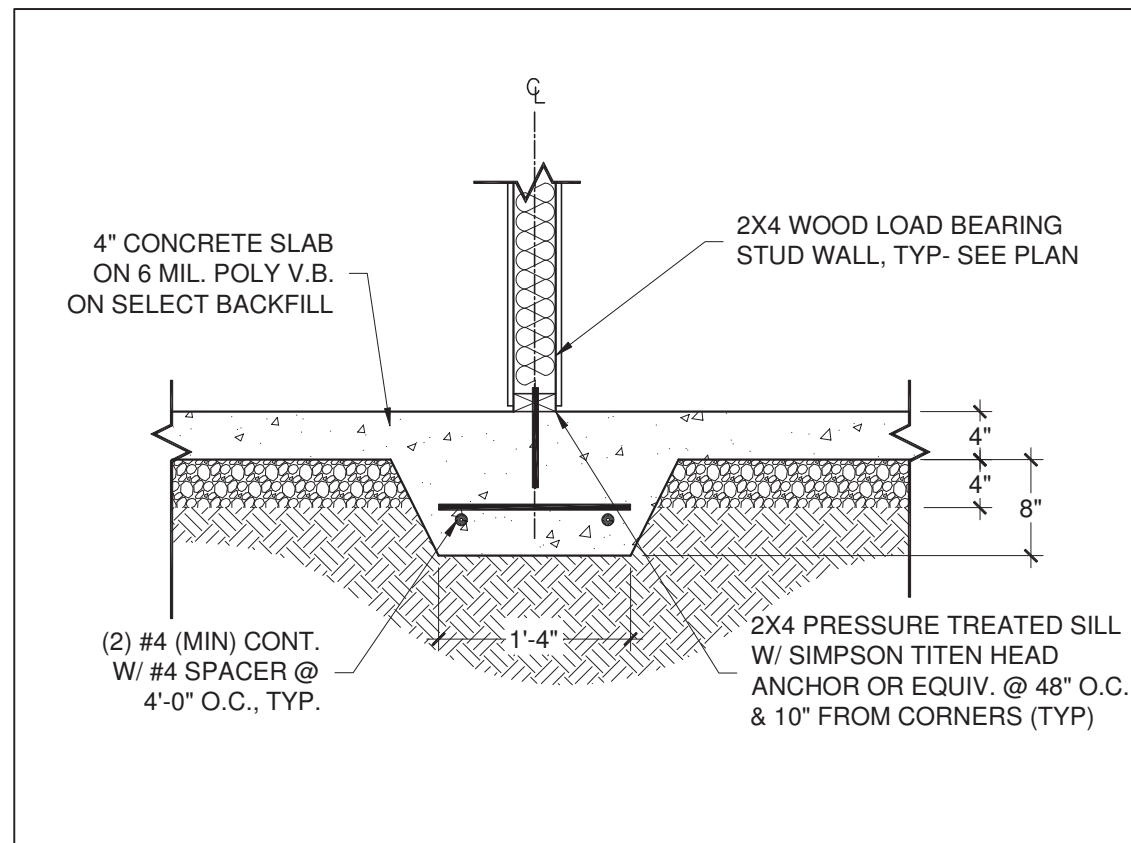


2 TYPICAL SECTION @ FRONT PORCH
SCALE: 3/4"=1'-0"

See notes on cover sheet



3 THICKENED SLAB @ TENANT PARTITION WALL
SCALE: 3/4"=1'-0"



4 THICKENED SLAB @ INTERIOR LOAD BEARING WALL
SCALE: 3/4"=1'-0"

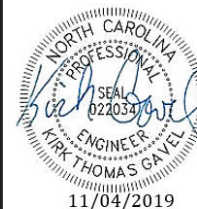


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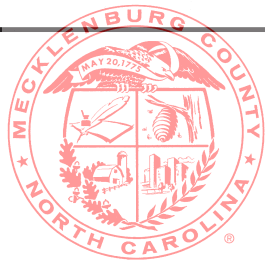
For Structural Commentary Only

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITISIDE
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DATE:
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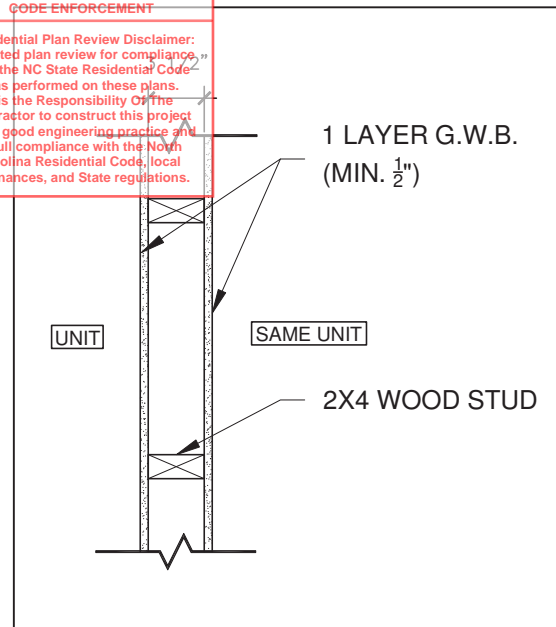
SHEET #:

S.01

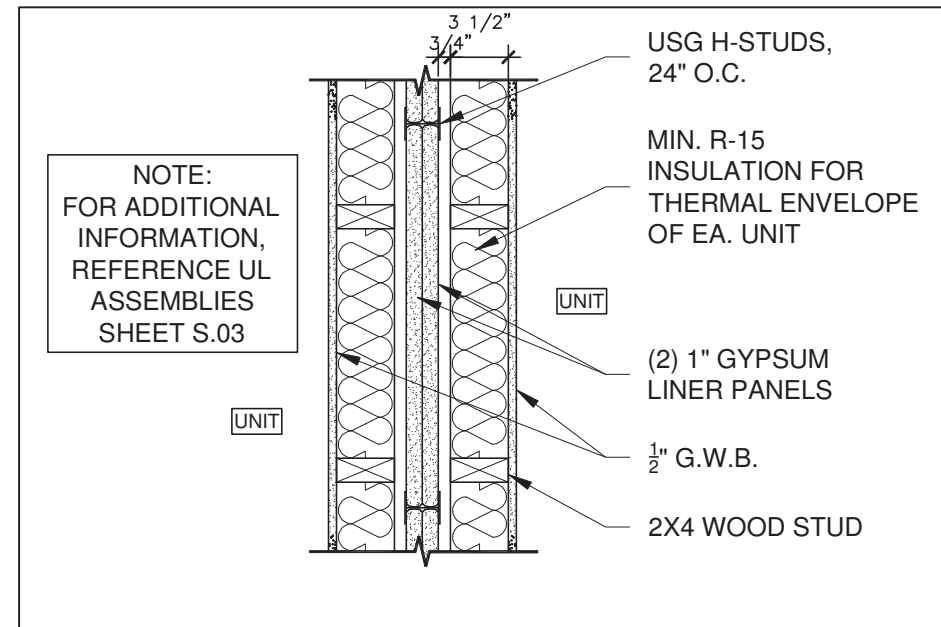


MECKLENBURG COUNTY
CODE ENFORCEMENT

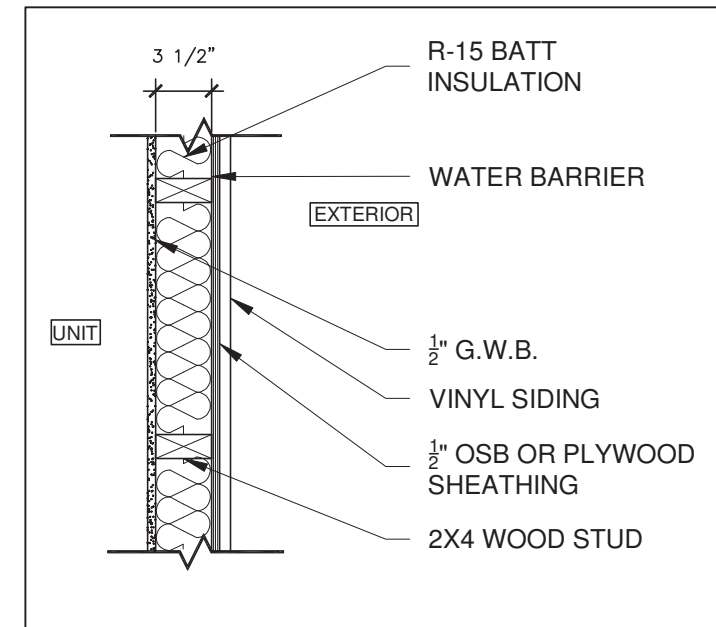
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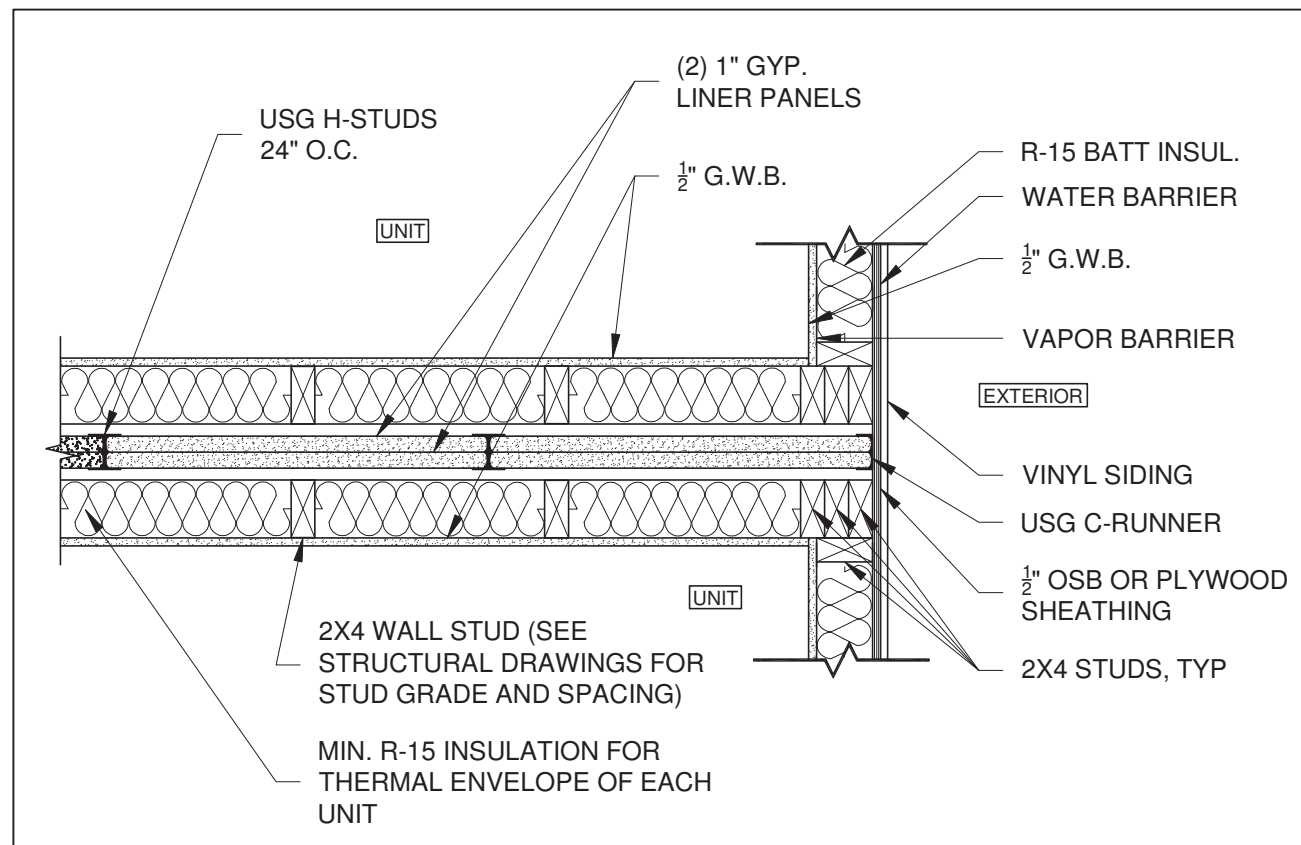
① PARTITION WALL
NO RATING SCALE: 1"=1'-0"



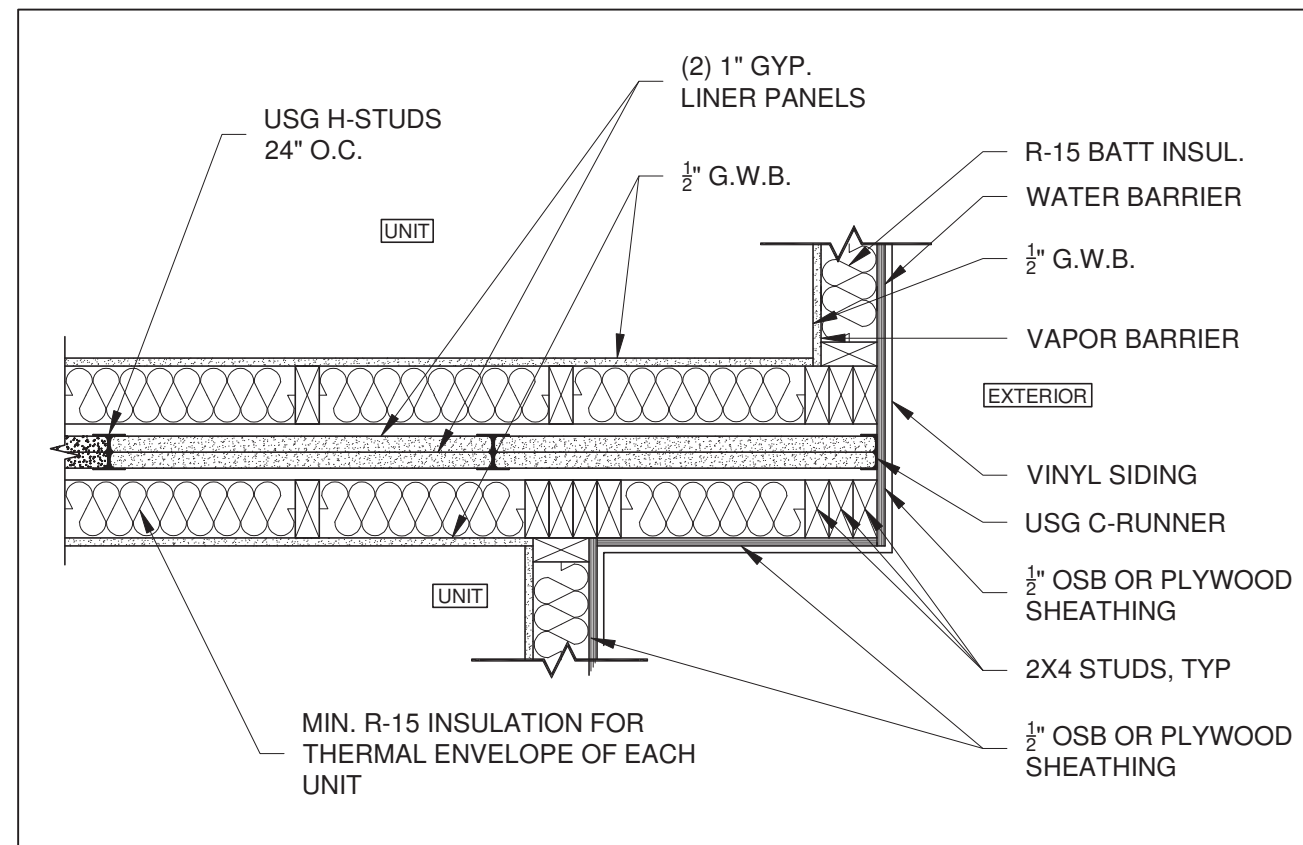
② TENANT PARTITION
2 HR. RATING SCALE: 1"=1'-0"



③ EXTERIOR WALL
NO RATING SCALE: 1"=1'-0"



④ EXTERIOR WALL INTERSECTION W/O BAY
U336 (2 HR. RATING) SCALE: 1"=1'-0"



⑤ EXTERIOR WALL INTERSECTION W/ BAY
U336 (2 HR. RATING) SCALE: 1"=1'-0"

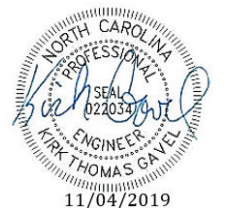


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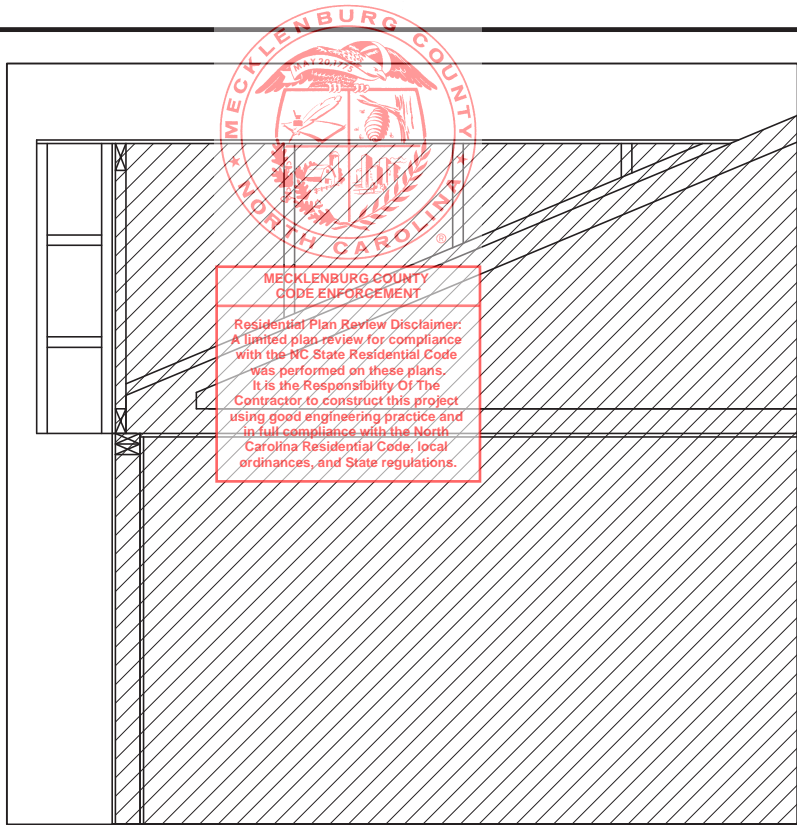
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HABITAT FOR HUMANITY OF CHARLOTTE
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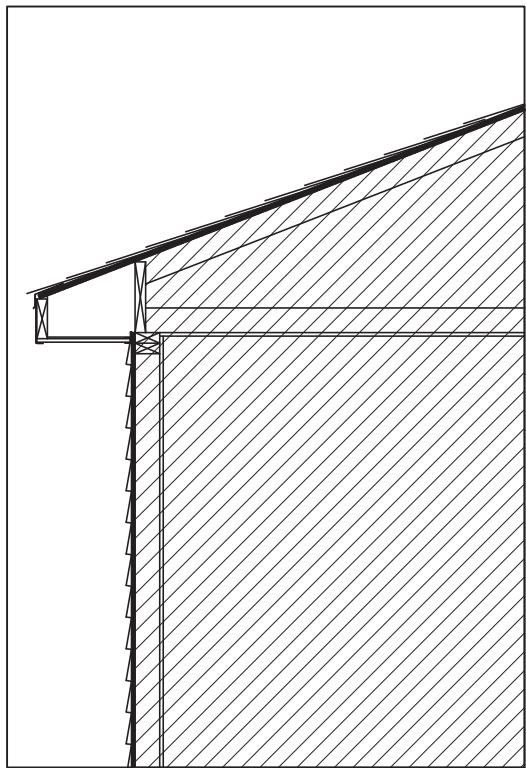
DATE:
NOVEMBER 4, 2019

SHEET #:

S.02

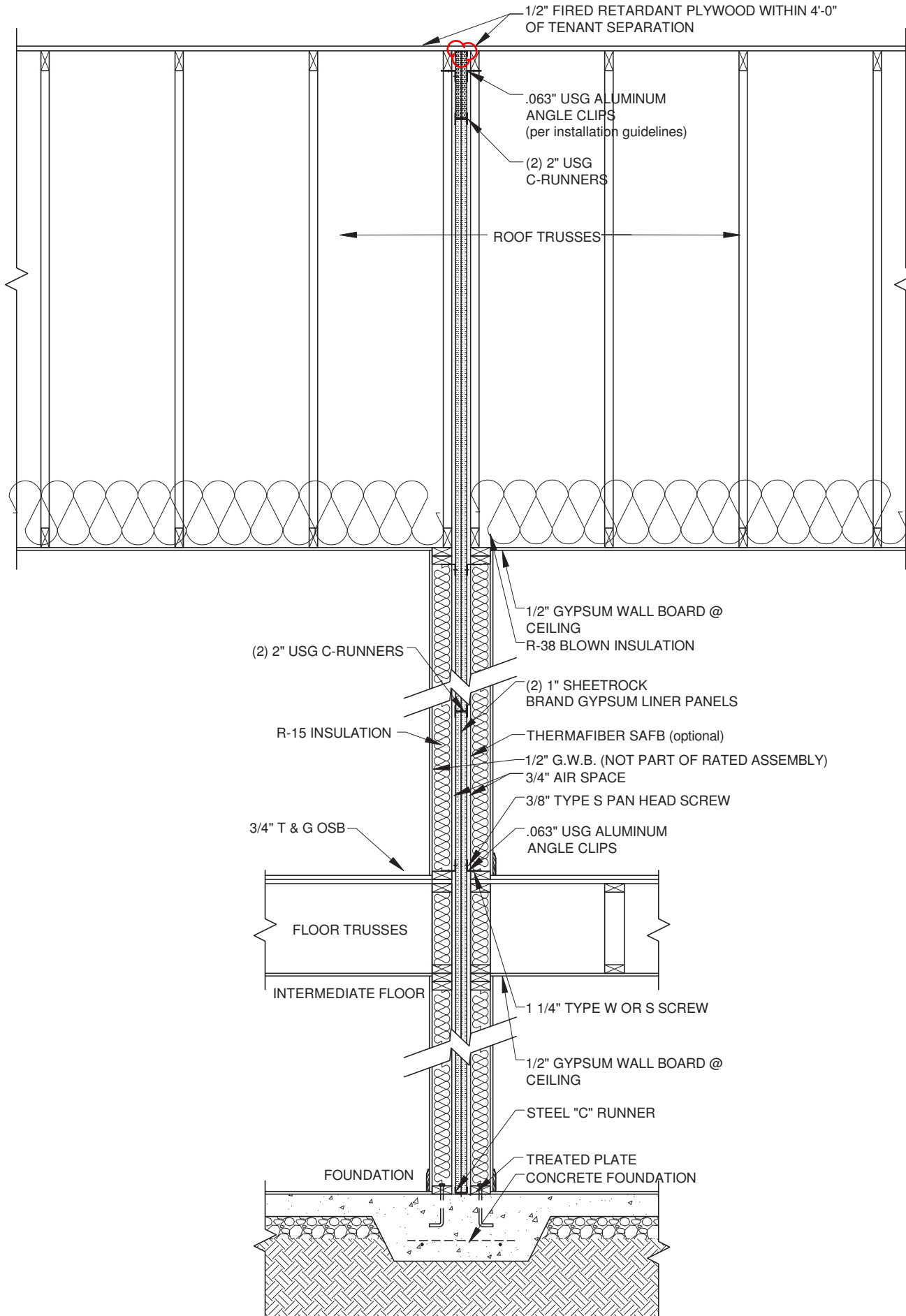


1 2-HR CONTINUATION
@ TURNED GABLE; NOT TO SCALE



2 2-HR CONTINUATION
@ EAVE; NOT TO SCALE

AREA SEPARATION WALLS			
GA FILE NO. ASW 1000	PROPRIETARY	2 HOUR FIRE	60 to 64 STC SOUND
GYPSUM WALLBOARD, STEEL H STUDS			
Two layers 1" x 24" proprietary type X gypsum panels inserted between 2" floor and ceiling runners with 2" steel H studs between adjacent pairs of gypsum panels. (NLB)			
A 3/4" minimum air space must be maintained between steel components and adjacent framing (as indicated by dashed lines in sketch). As an alternate to an air space, the steel components are covered with 6" wide battens of 1/2" gypsum board or 1" mineral fiber insulation. As an alternate to battens, one or both faces of separation wall are covered with 1" mineral fiber insulation stapled to the gypsum liner panels or 1/2" regular gypsum board screw attached to the steel components.			
Sound tested with 2 x 4 stud wall faced with 1/2" regular gypsum wallboard each side of assembly and 3" mineral fiber in stud space on both sides.			
PROPRIETARY GYPSUM BOARD United States Gypsum Compant - 1" SHEETROCK® Brand Gypsum Liner Panels		Thickness: 3 1/2" Approx. Weight: 9 psf Fire Test: UL R1319, 89NK28786, 5-14-90, UL Design U336 Sound Test: RAL TL88-350, 9-12-88	

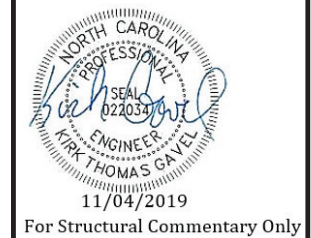


3 AREA SEPARATION WALL
(GA File no. ASW1000; 2-HR RATING) SCALE: 1/2"=1'-0"



3815 LATROBE DRIVE
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FAX: 704-342-1797
DWN. BY: CARRIE MASTO
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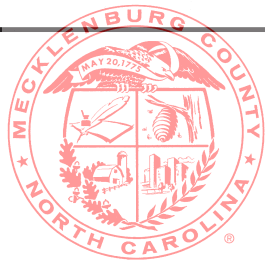
ENGINEER:
Gavel and Dorn Engineering
6730 Freedom Drive
Charlotte, NC 28214
(704)-919-1900



HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITISIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

DATE:
NOVEMBER 4, 2019
SHEET #:

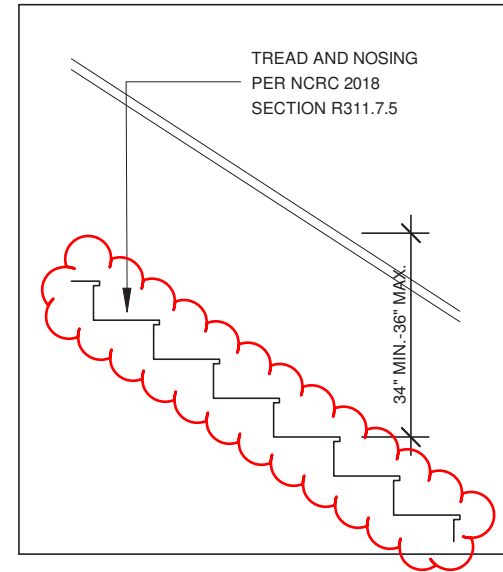
S.03



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See notes on cover sheet



③ STAIR DETAIL
SCALE: $\frac{3}{8}$ " = 1'-0"



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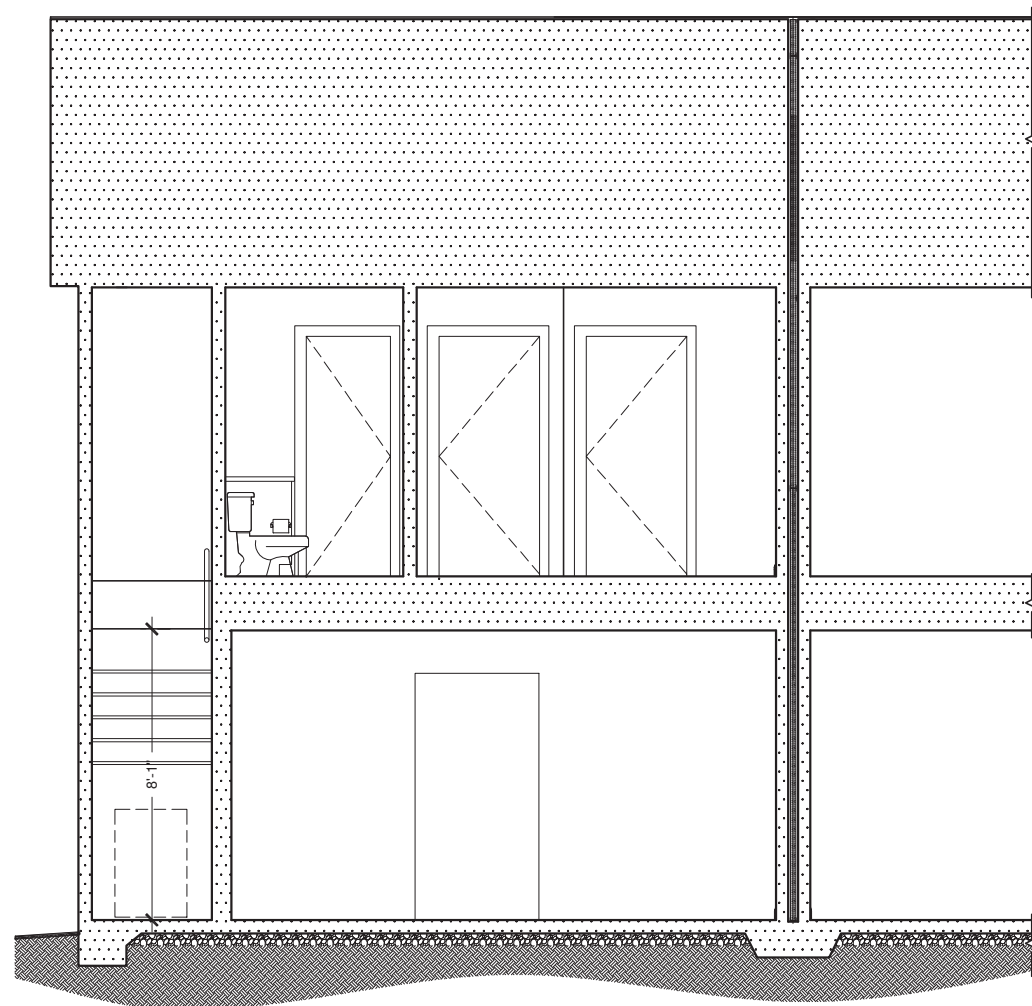
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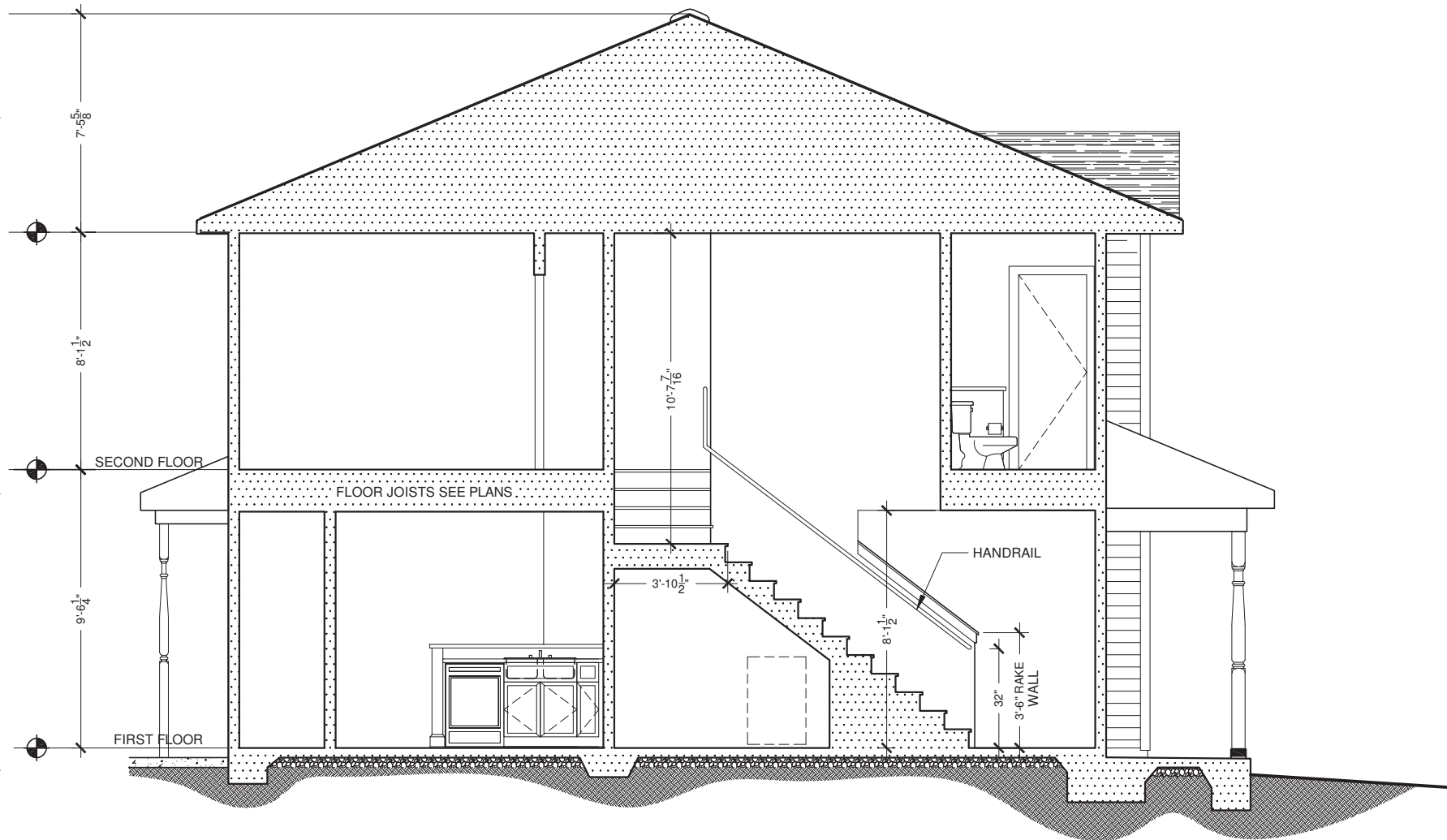
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① BUILDING SECTION
SCALE: $\frac{3}{16}$ " = 1'-0"



② BUILDING SECTION
SCALE: $\frac{3}{16}$ " = 1'-0"

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TOWNHOMES AT CITISIDE
925, 929, 933, 937 PLAZA WALK DRIVE
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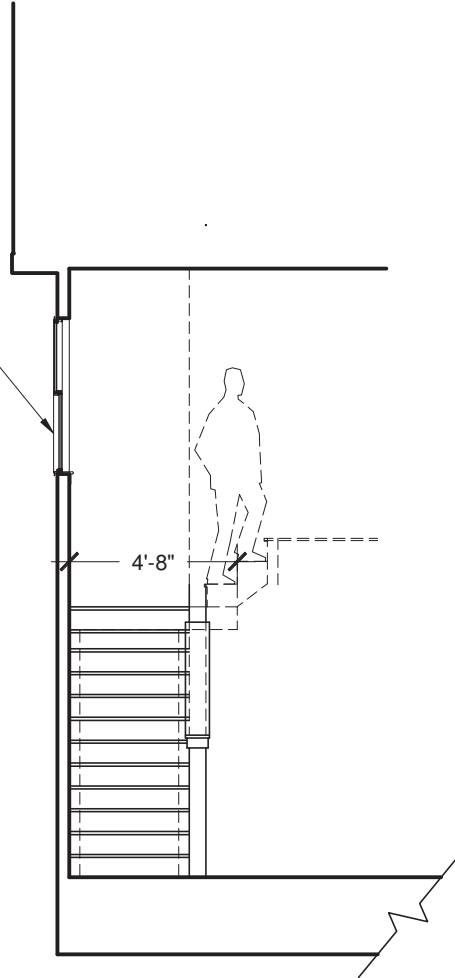
S.04



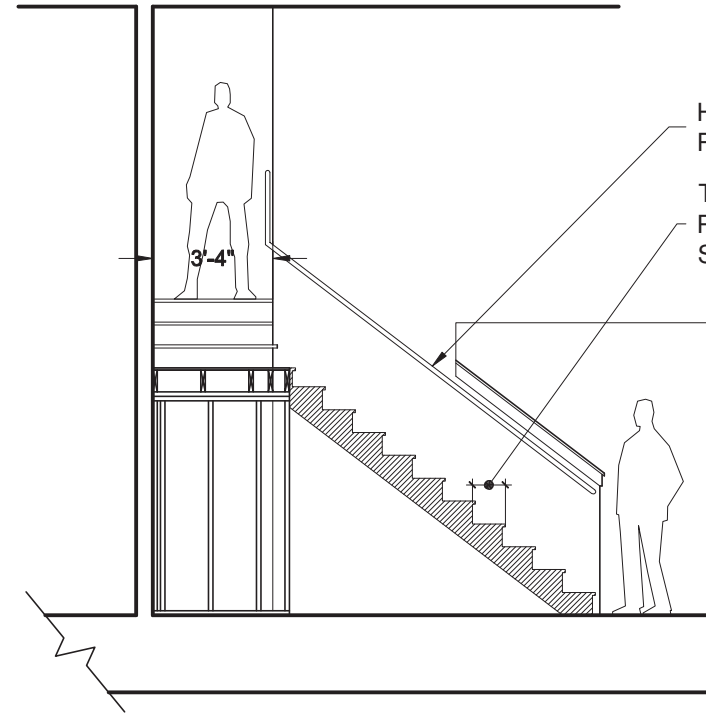
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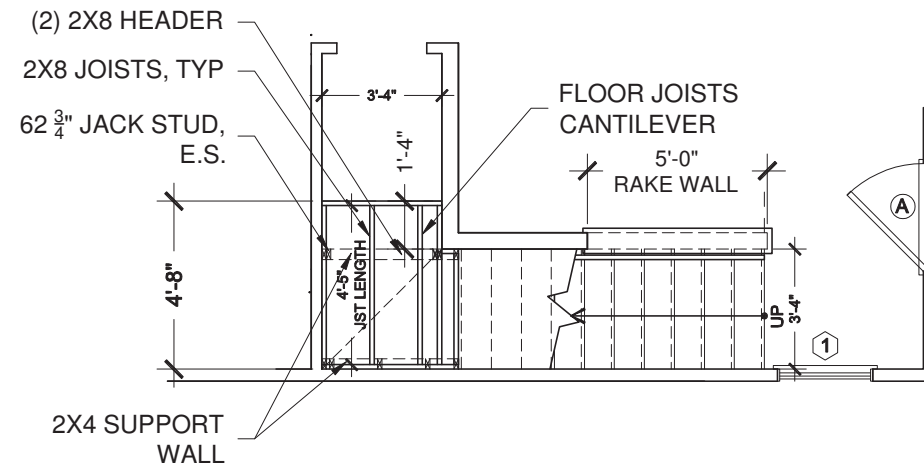
WINDOW HEIGHT
LOCATION IN
STAIRWELL, NOT AT
LANDING HEIGHT



① STAIR ELEVATION
SCALE: $\frac{3}{16}'' = 1'-0''$



② STAIR SECTION
SCALE: $\frac{3}{16}'' = 1'-0''$



② STAIR LANDING FRAMING
SCALE: $\frac{3}{16}'' = 1'-0''$



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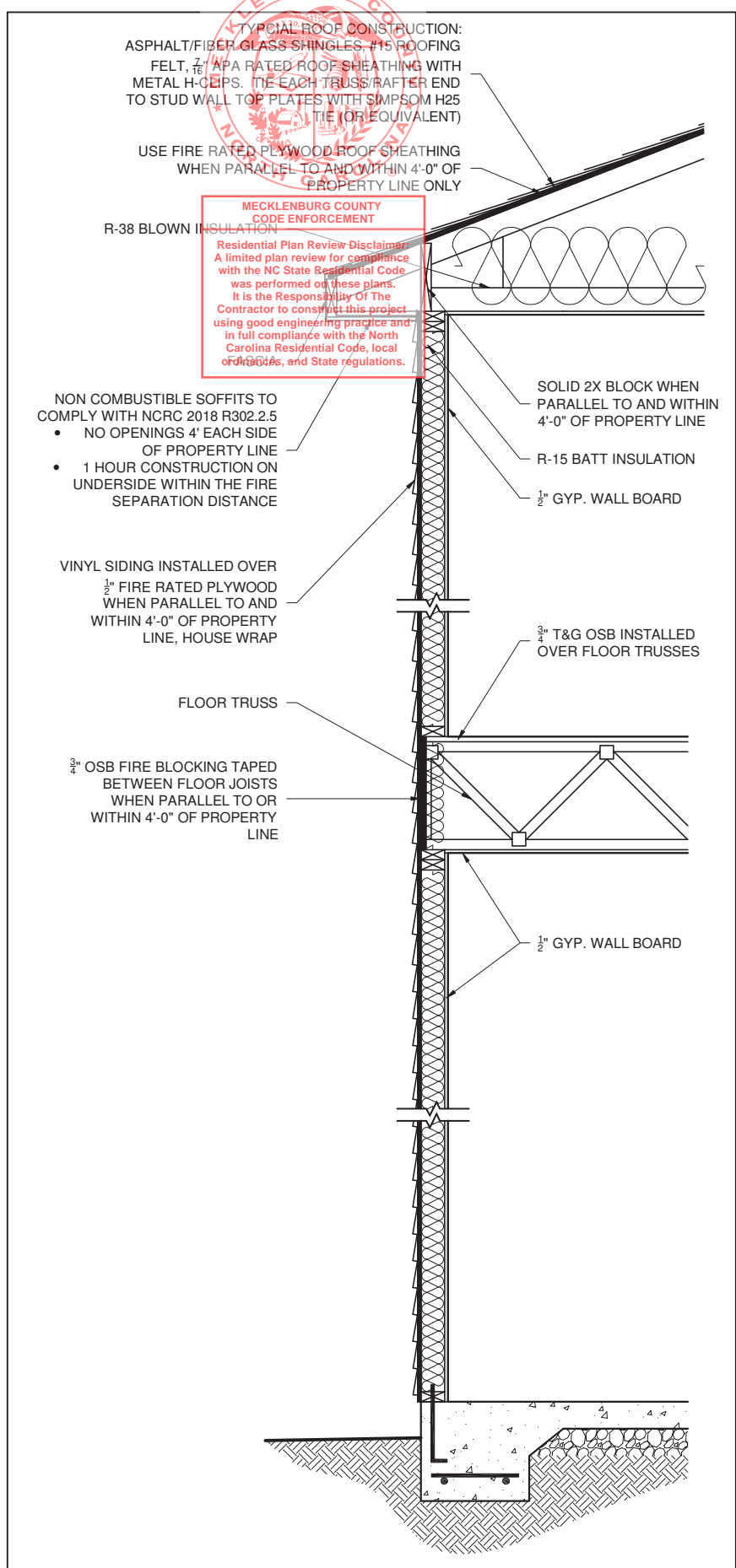
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HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITISIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

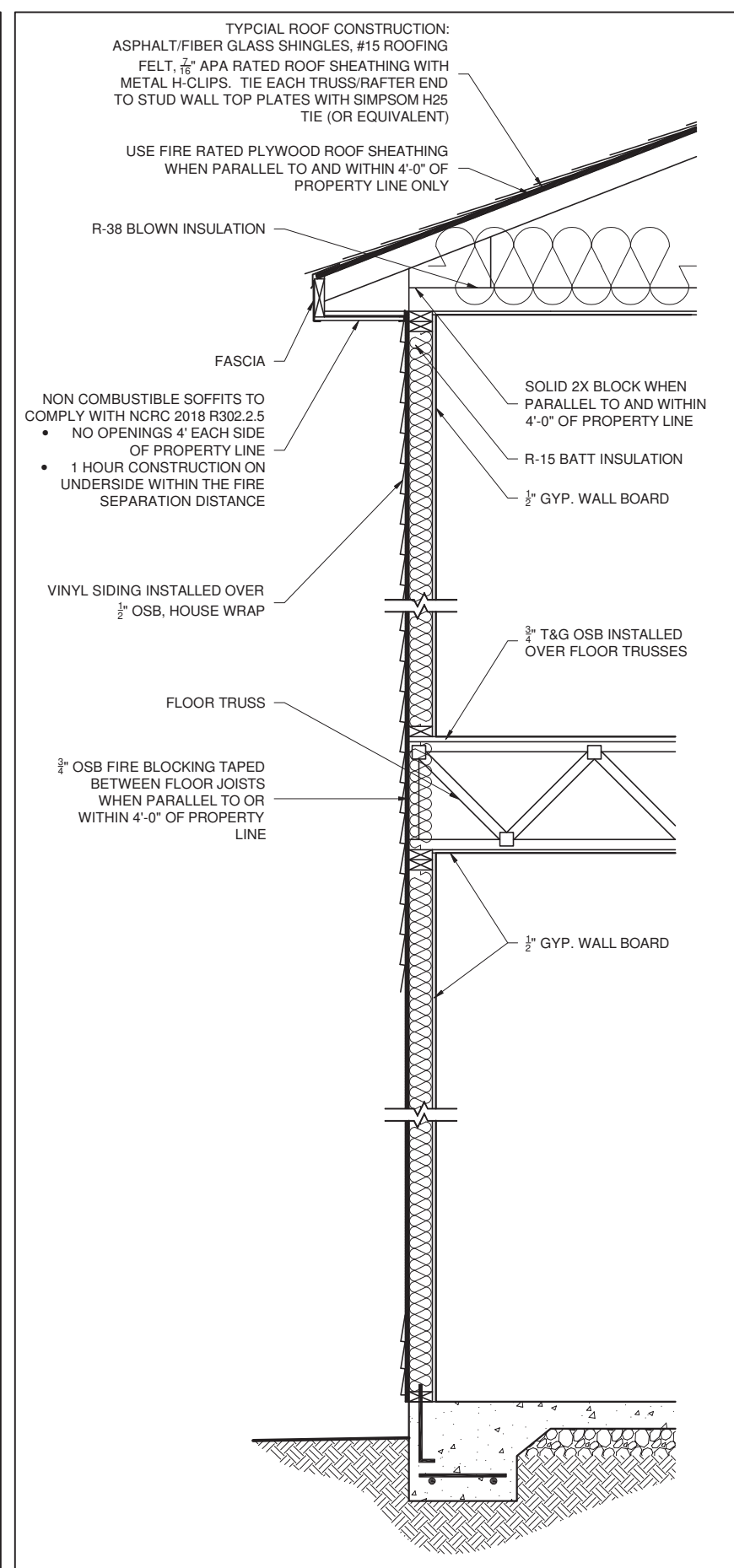
DATE:
NOVEMBER 4, 2019

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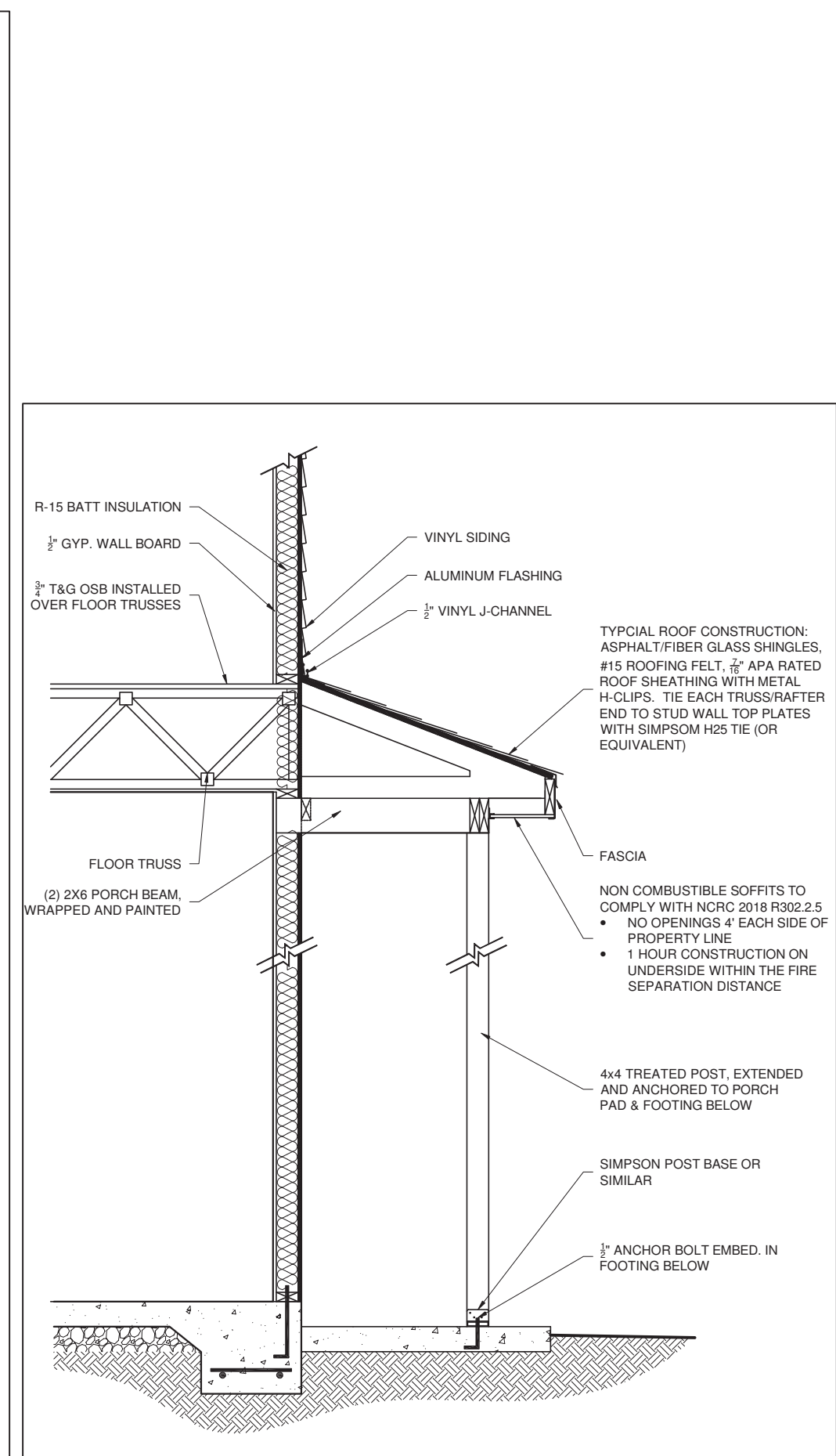
S.05



① TYP. SECTION (PROTECTED)
SCALE: $\frac{1}{2}$ "=1'-0"



② TYPICAL SECTION
SCALE: $\frac{1}{2}$ "=1'-0"



③ BACK PORCH DETAIL
SCALE: $\frac{1}{2}$ "=1'-0"

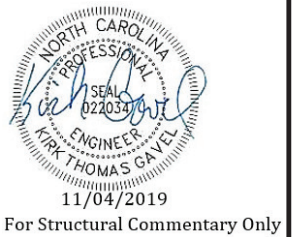


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S.06

- BRACING NOTES:**
- All bearing headers are #1 or better grade 2x10 Southern Pine per NCRC 2018 R602.7(1), unless otherwise noted.
 - Abbreviations:
 - JK - Jack Stud
 - K - King Stud
 - ST - Stud
 - ES - Each Side
 - NB - Non-Blocking
 - Bracing Method at exterior walls shall be continuous OSB sheathing fastened to studs with 8d nails @ 6" O.C. at panel edges and 12" O.C. in the field.
 - Apply fire blocking around all girders at fire separation wall.

WALL HEADERS

FIRST STORY	(2) 2X10 *UNLESS NOTED
SECOND STORY	(2) 2X6 *UNLESS NOTED

Headers to be #1 or better grade Southern Pine per NCRC 2018 Table R602.7(1)

REQUIRED JACK STUDS

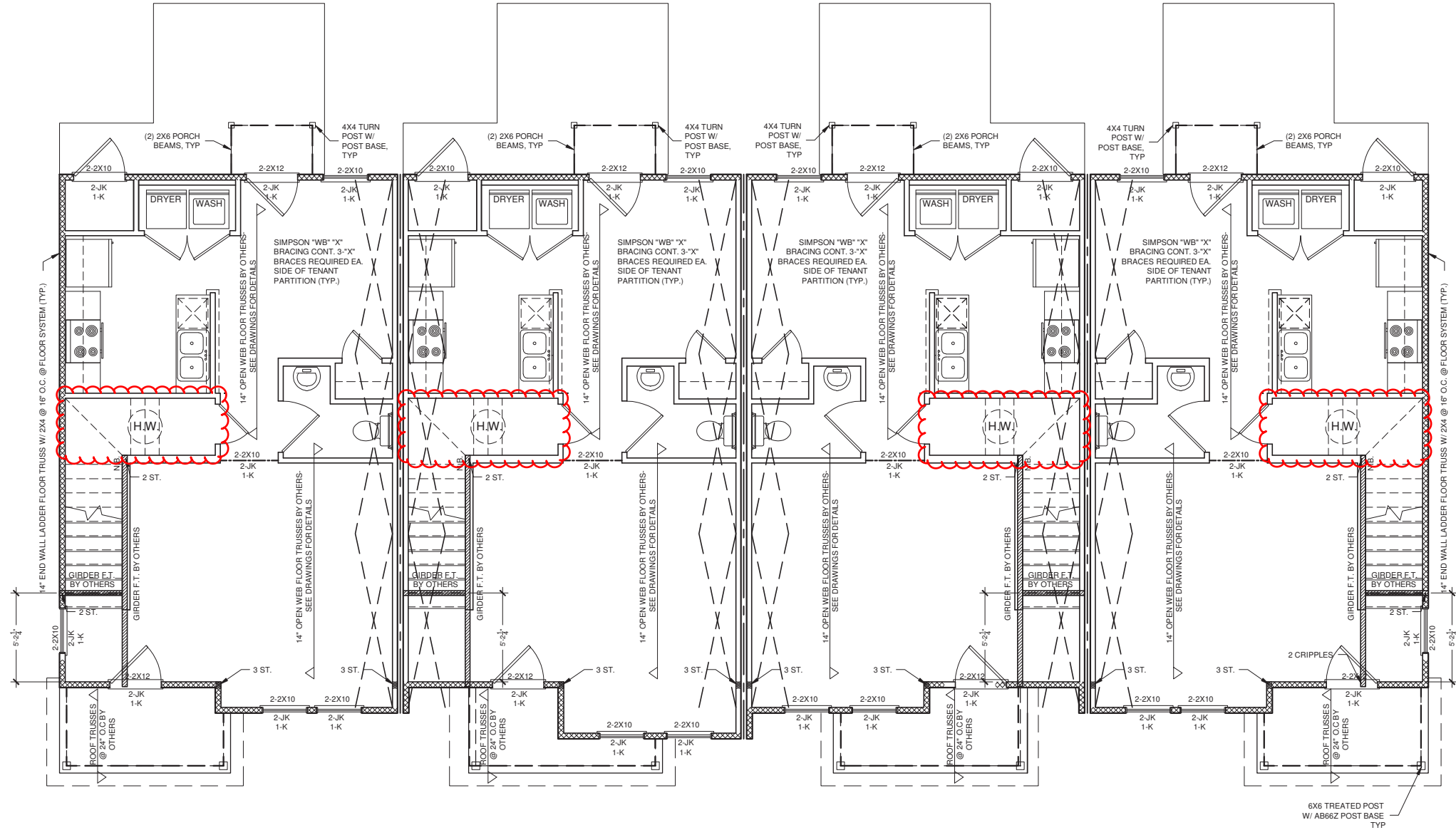
FIRST STORY	(2)
SECOND STORY	(1)

*Per NCRC 2018 Table R602.7(1)

SYMBOLS

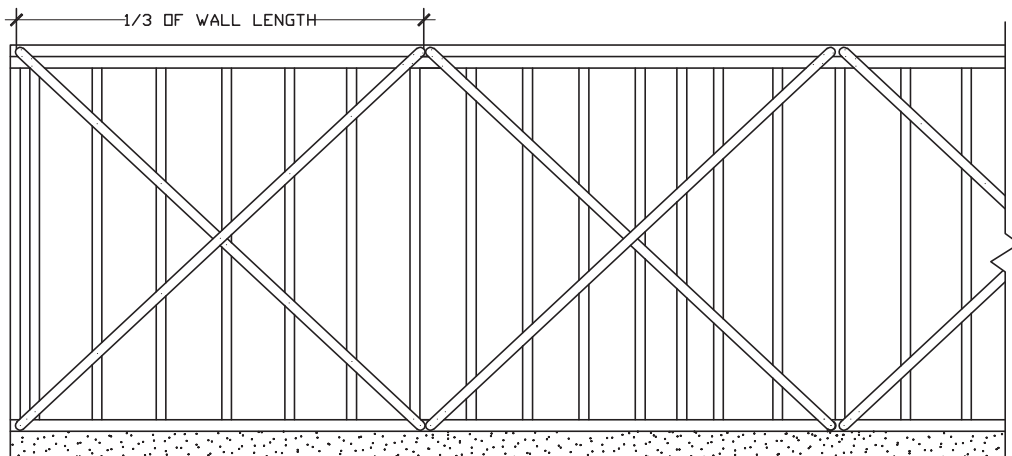
	PRE-FAB WOOD TRUSS
	GIRDER TRUSS
	2X WOOD TRUSS
	DIMENSIONAL LUMBER (STICK FRAMING) SIZED & SPACED AS NOTED
	PORCH BEAM
	CONTINUOUSLY SHEATHED EXTERIOR WALL

See notes on cover sheet



1 FIRST FLOOR BRACING PLAN
SCALE: $\frac{1}{8}" = 1'-0"$

WB & WBC MODELS	
LENGTH	14'-3"
SECTION	1 $\frac{1}{4}"$
ANGLE & WALL SIZE	8' @ 51°
PLATES	2 - 16d
STUDS	1 - 8d
*NOTE: 2-"X" BRACE SECTIONS REQ'D. ON 2ND FLOOR EA. SIDE OF TENANT PARTITION (FIRE) WALL.	

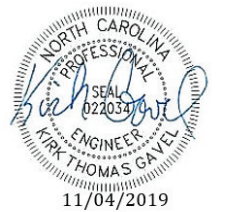


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DATE:
NOVEMBER 4, 2019

SHEET #:

S.07

FRAMING NOTES:

- Architectural framing plans are schematic diagrams. Refer to shop drawings provided by truss manufacturer/designer, in the field.
- FRAMING:
 - First Floor Studs: 2x4s @ 16" O.C.
 - Second Floor Studs: 2x6s @ 16" O.C.
 - All joists, beams, and headers to be #1 or better grade Southern Pine per NCRC 2018 Table R602.7(1)
 - All exposed framing to be pressure treated lumber.

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WALL HEADERS

FIRST STORY (2) 2X10 *UNLESS NOTED

SECOND STORY (2) 2X6 *UNLESS NOTED

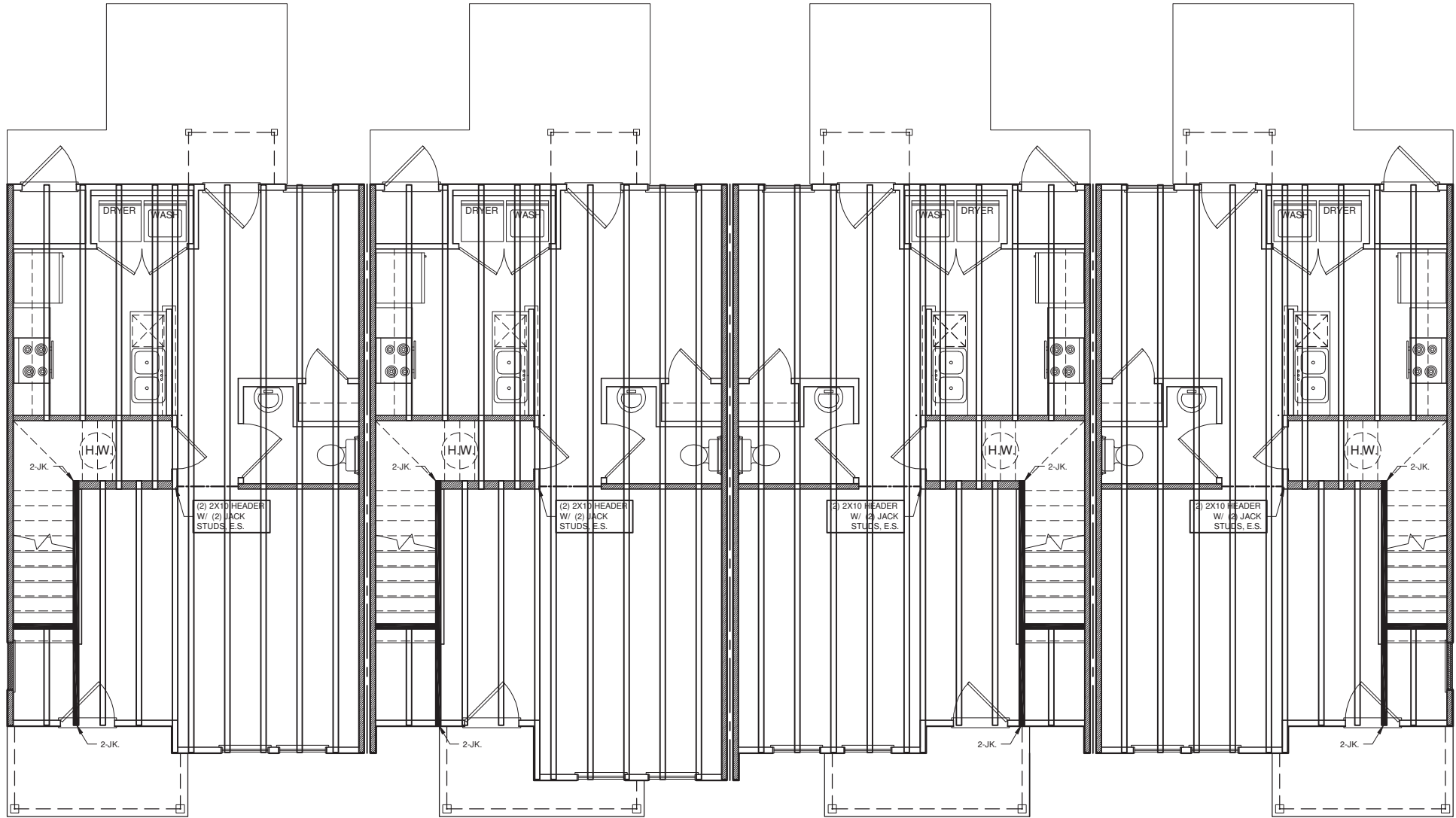
Headers to be #1 or better grade Southern Pine per NCRC 2018 Table R602.7(1)

REQUIRED JACK STUDS

FIRST STORY (2)

SECOND STORY (1)

*Per NCRC 2018 Table R602.7(1)



1 FLOOR FRAMING PLAN (SCHEMATIC)
SCALE: $\frac{1}{8}$ " = 1'-0"



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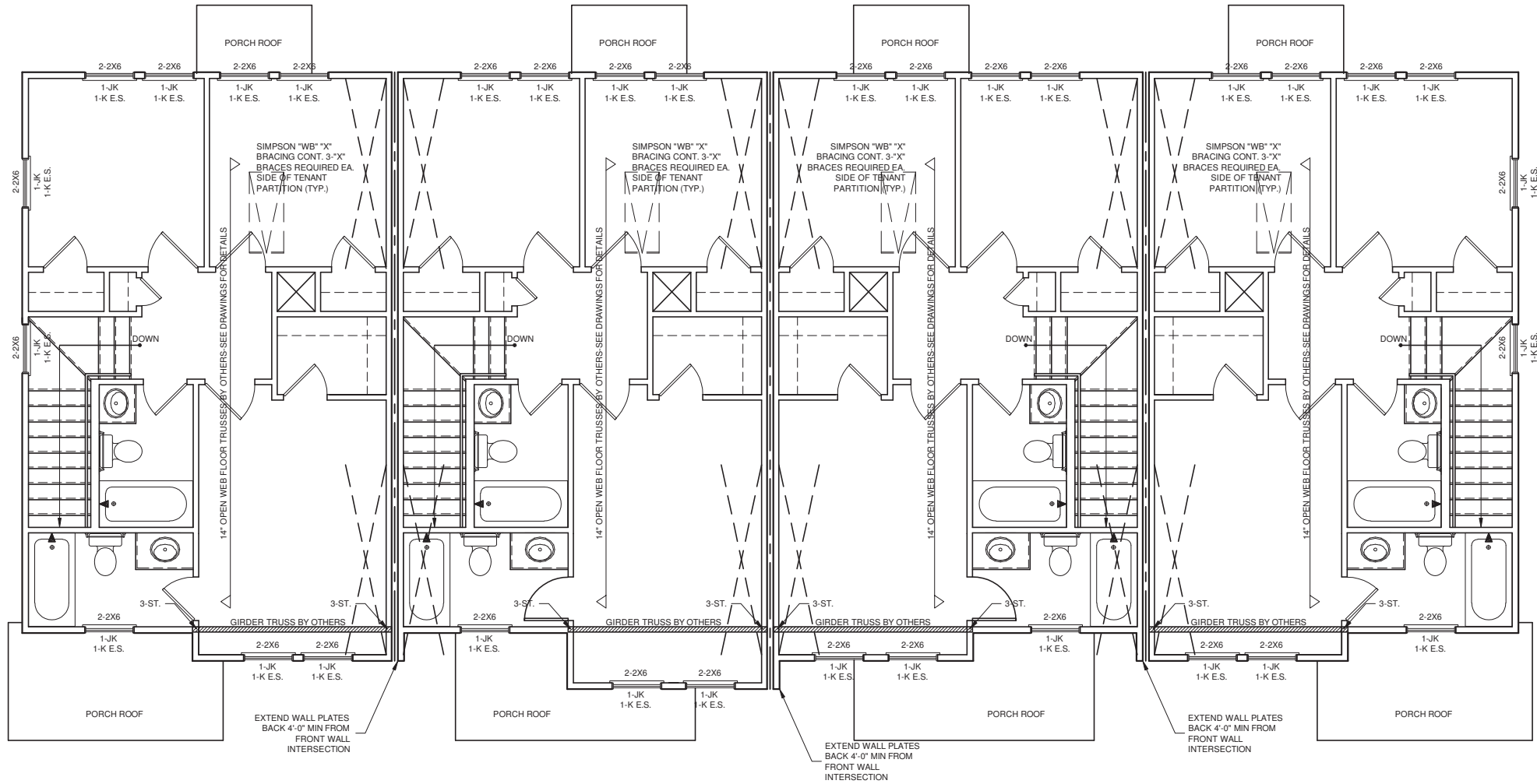
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NOVEMBER 4, 2019

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S.08

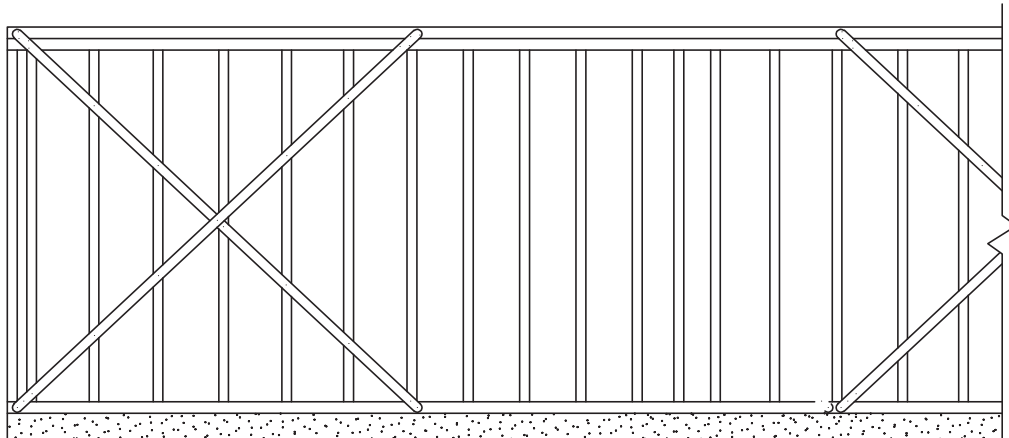
- BRACING NOTES:**
- All bearing headers are #1 or better grade 2x10 Southern Pine per NCRC 2018 R602.7(1), unless otherwise noted.
 - Abbreviations:
 - JK - Jack Stud
 - K - King Stud
 - ST - Stud
 - ES - Each Side
 - NB - Non-Bearing
 - Bracing Method at exterior wall shall be continuous OSB sheathing fastened to studs with 8d nails @ 6" O.C. at panel edges and 12" O.C. in the field.
 - Apply fire blocking around all girders at fire separation wall.

WALL HEADERS	
FIRST STORY	(2) 2X10 *UNLESS NOTED
SECOND STORY	(2) 2X6 *UNLESS NOTED
Headers to be #1 or better grade Southern Pine per NCRC 2018 Table R602.7(1)	
REQUIRED JACK STUDS	
FIRST STORY	(2)
SECOND STORY	(1)
*Per NCRC 2018 Table R602.7(1)	
SYMBOLS	
	PRE-FAB WOOD TRUSS
	GIRDER TRUSS
	2X WOOD TRUSS
	DIMENSIONAL LUMBER (STICK FRAMING) SIZED & SPACED AS NOTED
	PORCH BEAM
	CONTINUOUSLY SHEATHED EXTERIOR WALL



1 SECOND FLOOR BRACING PLAN
SCALE: 1/8" = 1'-0"

WB & WBC MODELS	
LENGTH	14'-3"
SECTION	1 1/4"
ANGLE & WALL SIZE	8' @ 51°
PLATES	2 - 16d
STUDS	1 - 8d
*NOTE: 2-"X" BRACE SECTIONS REQ'D. ON 2ND FLOOR EA. SIDE OF TENANT PARTITION (FIRE) WALL.	



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925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

DATE:
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SHEET #:

S.09

FRAMING NOTES:

- Architectural framing plans are schematic diagrams. Refer to shop drawings provided by truss manufacturer/designer, in the field.
- FRAMING:
 - First Floor Studs: 2x4s @ 16" O.C.
 - Second Floor Studs: 2x6s @ 16" O.C.
 - All joists, beams, and headers to be #1 or better grade Southern Pine per NCRC 2018 Table R602.7(1).
 - All exposed lumber to be pressure treated lumber.

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WALL HEADERS

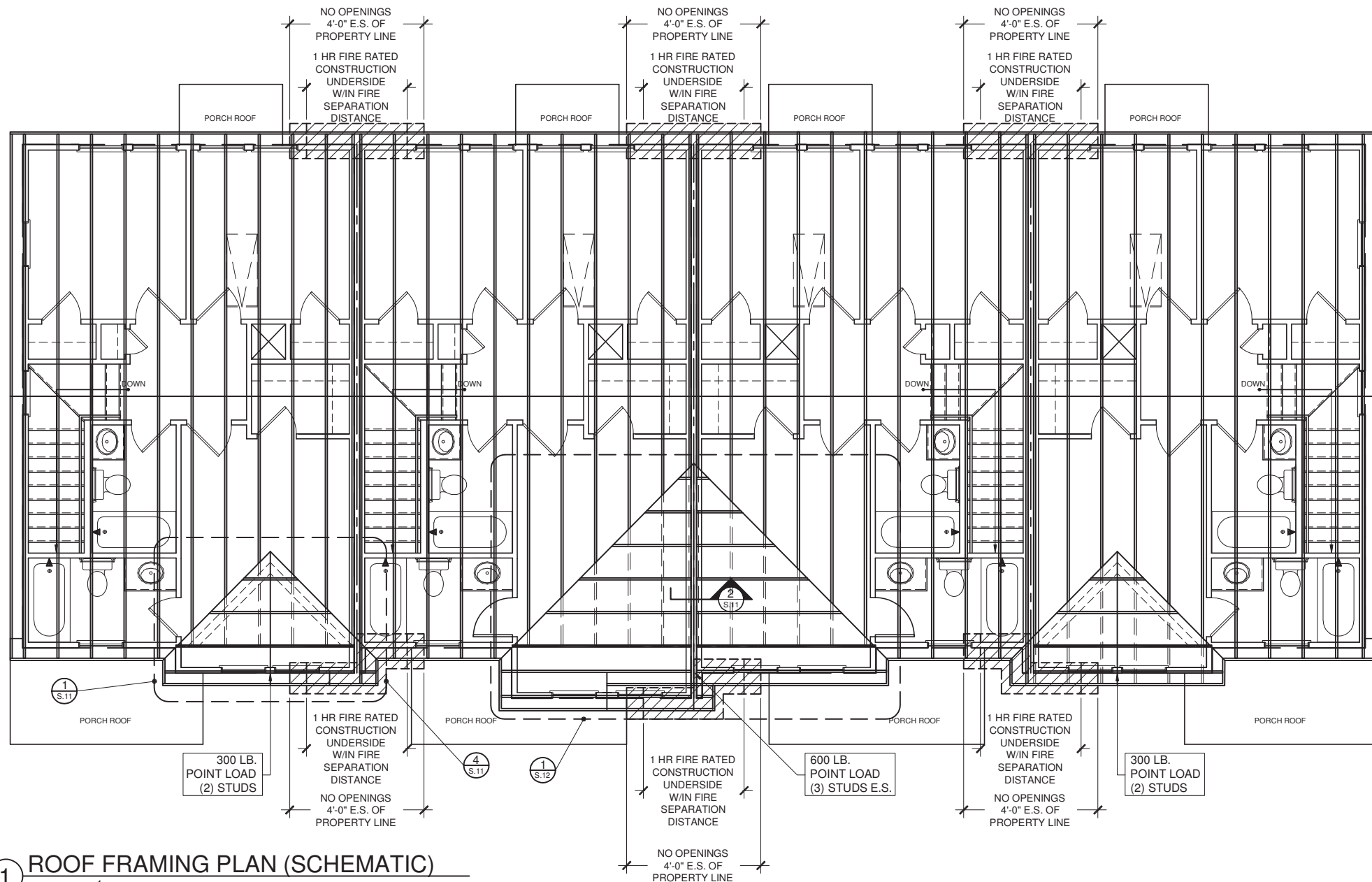
FIRST STORY	(2) 2X10 *UNLESS NOTED
SECOND STORY	(2) 2X6 *UNLESS NOTED

Headers to be #1 or better grade Southern Pine per NCRC 2018 Table R602.7(1)

REQUIRED JACK STUDS

FIRST STORY	(2)
SECOND STORY	(1)

*Per NCRC 2018 Table R602.7(1)



1 ROOF FRAMING PLAN (SCHEMATIC)
SCALE: $\frac{1}{8}$ " = 1'-0"

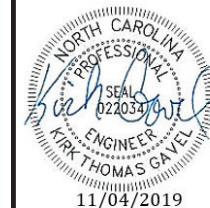


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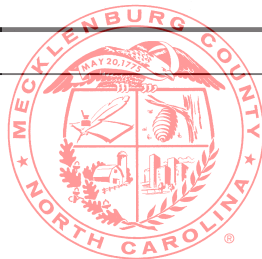
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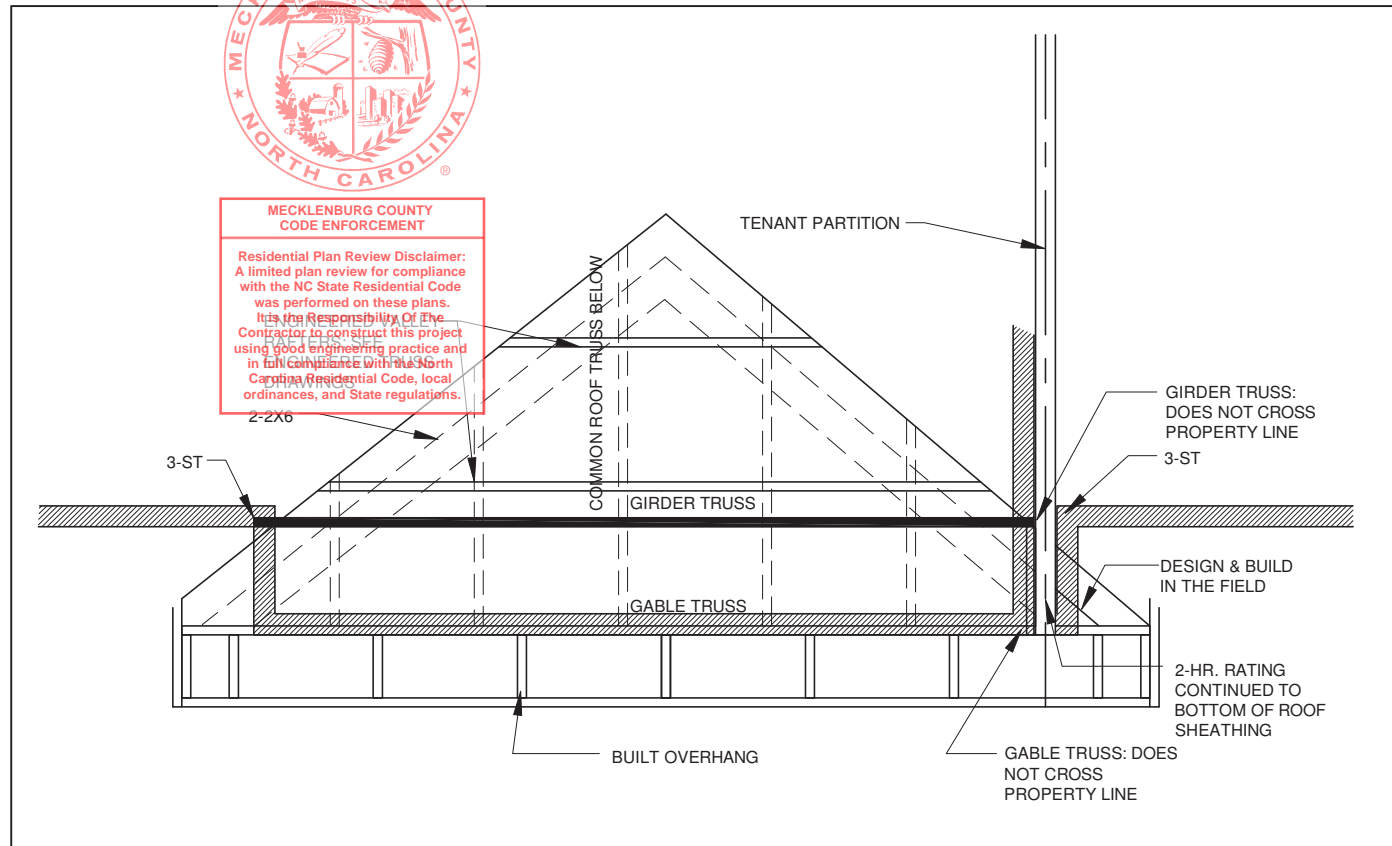
SHEET #:

S.10

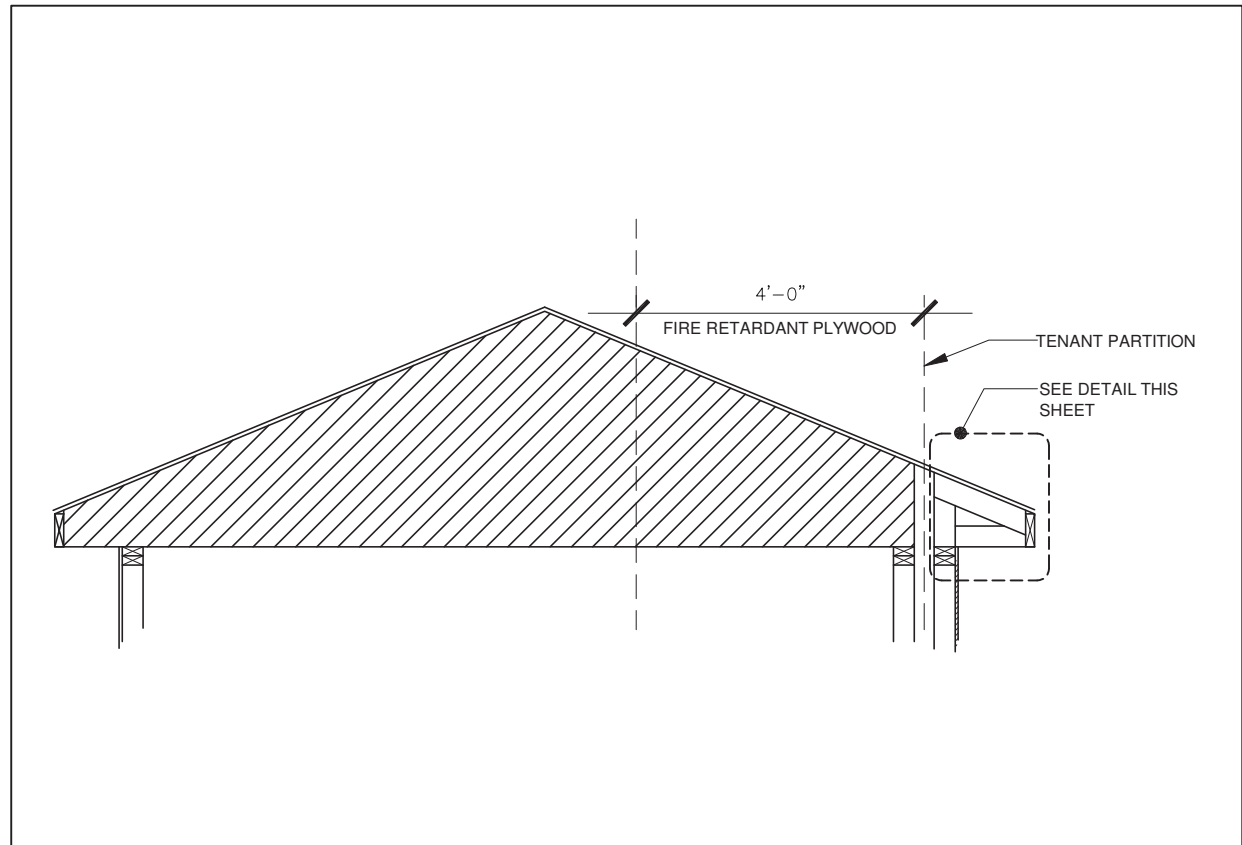


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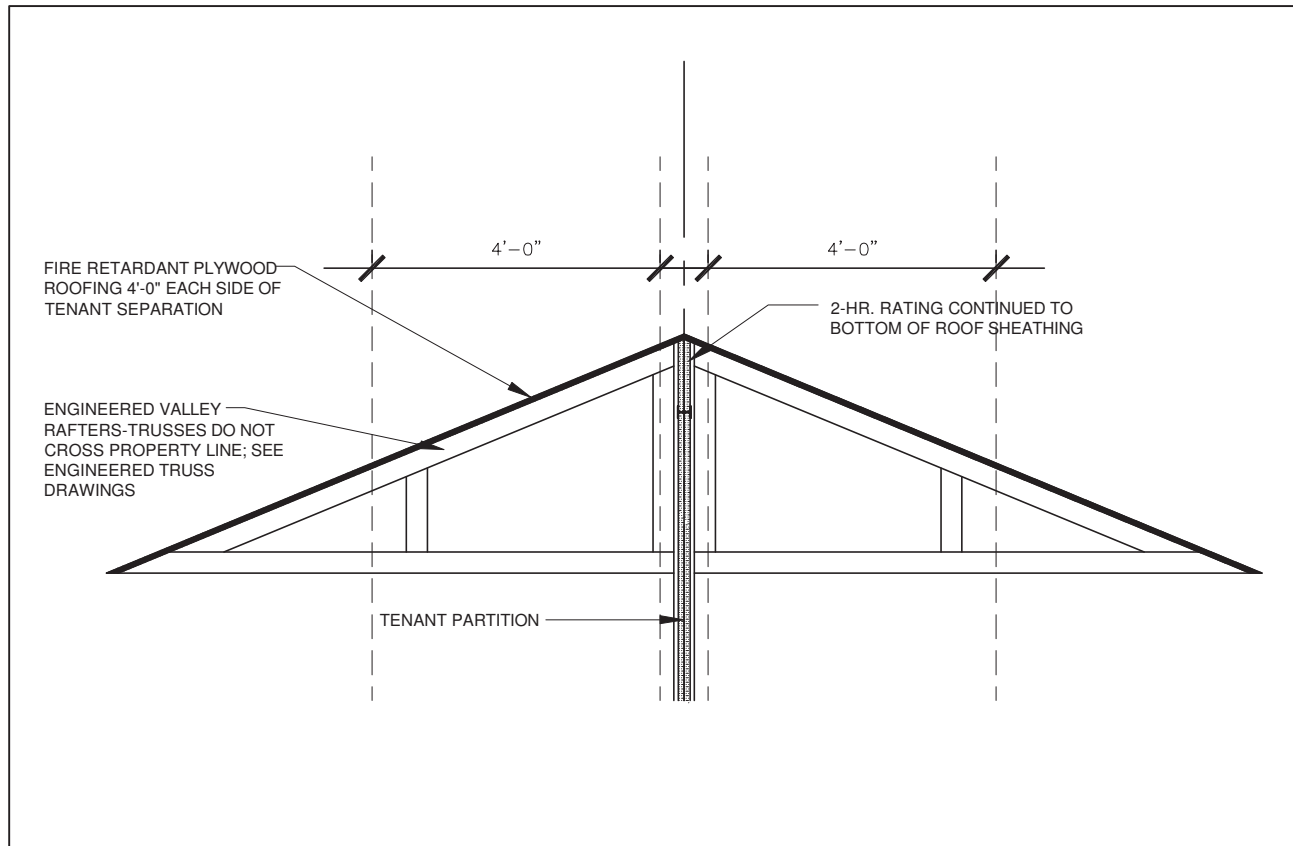
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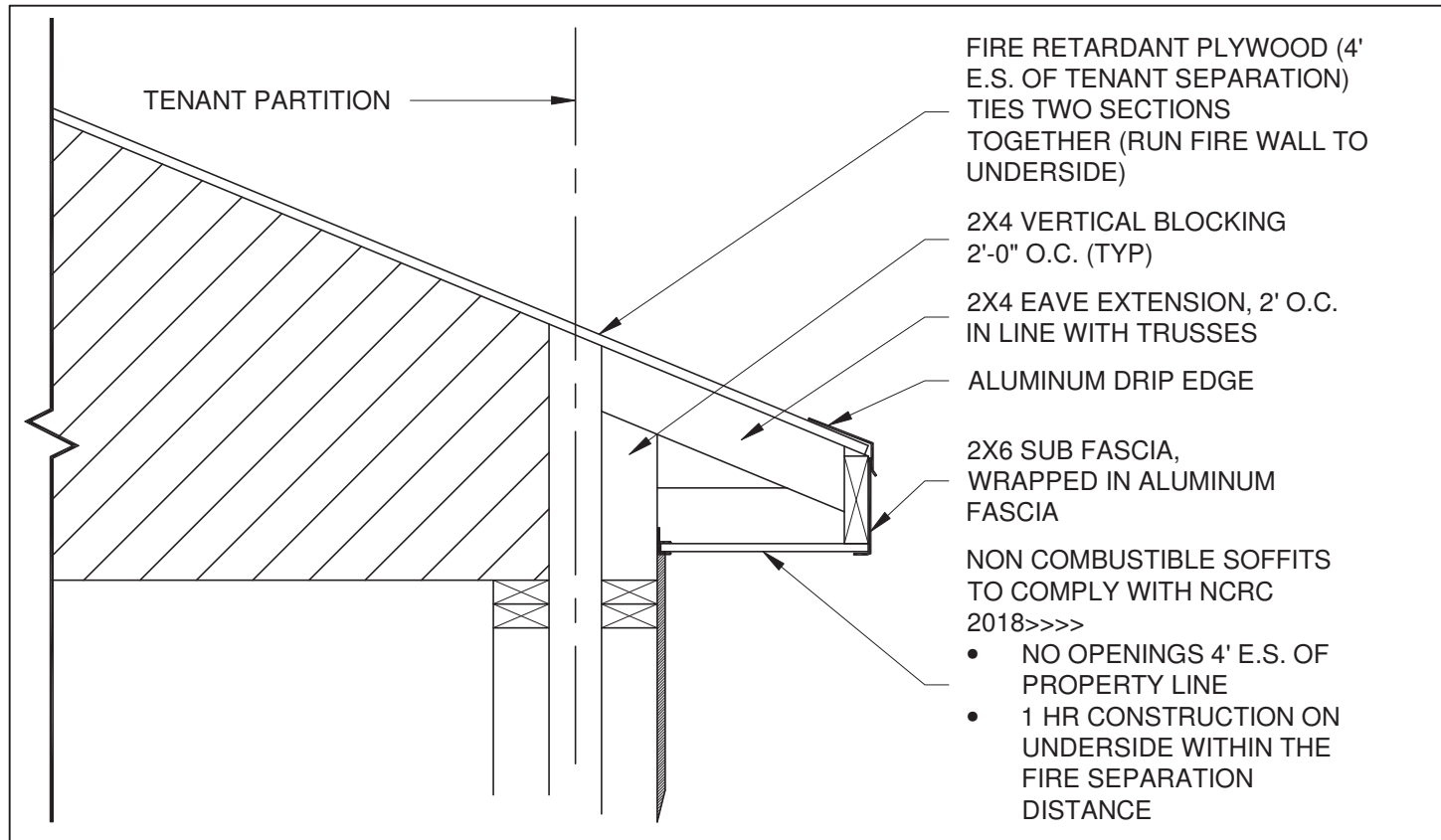
1 GABLE FRAMING-@ END UNITS
SCALE: $\frac{3}{8}"=1'-0"$



3 GABLE END DETAIL-@ END UNITS
SCALE: $\frac{3}{8}"=1'-0"$



2 SECTION-@ BUILDING CENTER
SCALE: $\frac{3}{8}"=1'-0"$



4 EAVE DETAIL
SCALE: 1"=1'-0"

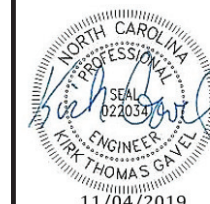


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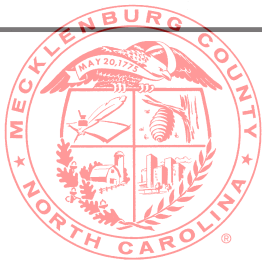


11/04/2019
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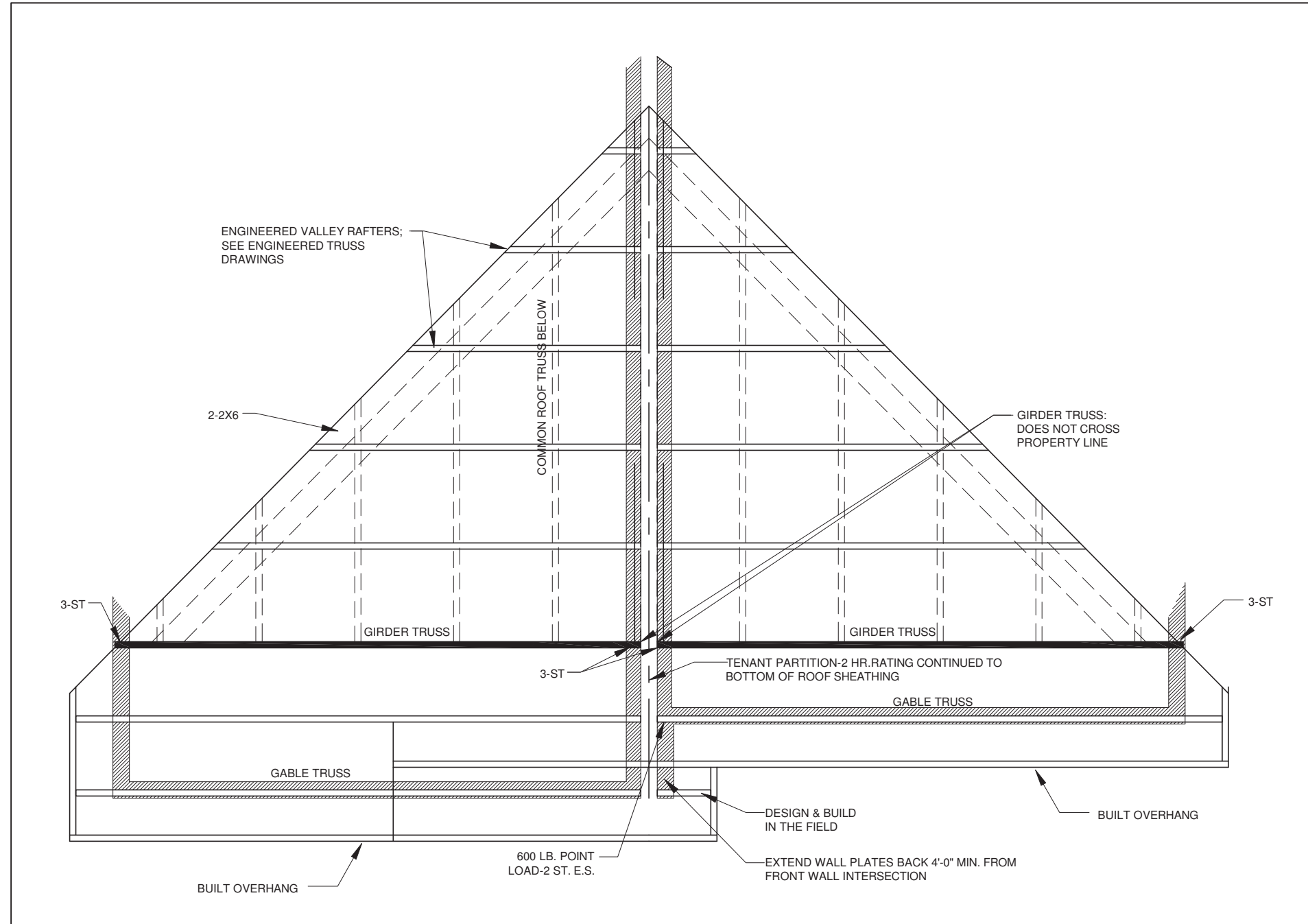
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S.11



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1 GABLE FRAMING-@ MIDDLE UNITS
SCALE: $\frac{3}{8}'' = 1'-0''$



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S.12